

# RESIDENTIAL DESIGN GUIDELINES

FOR THE FUTURE  
RESIDENCE OF  
MR. AND MRS. NAGY  
AT VINYARD RD  
PLEASANTON

**APPROVED**  
PLEASANTON PLANNING COMMISSION  
BY [Signature]  
DATE 10-26-2011

**RECEIVED**

**MARK STOKLOSA ARCHITECT INC**  
480 SAINT JOHN STREET, SUITE 220 PLEASANTON CA 94566

OCT 04 2011  
CITY OF PLEASANTON  
PLANNING DIVISION

PWD 93-02-10M

EXHIBIT B



*MOTTO:*

THE HOME IS AN OASIS  
THAT SOOTHES DAY'S EFFORTS  
AND RECHARGES ENERGY FOR THE  
FUTURE ENDEVORS,  
WITH APPRECIATION OF ITS ARCHITECTURAL  
EXPRESSION, BY BOTH, THE  
OWNER AND THE NEIGHBORS

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DESIGN GUIDELINES FOR THE NEW  
RESIDENCE

JUNE 2006

# THE NAGY RESIDENCE AT VINYARD ROAD, PLEASANTON

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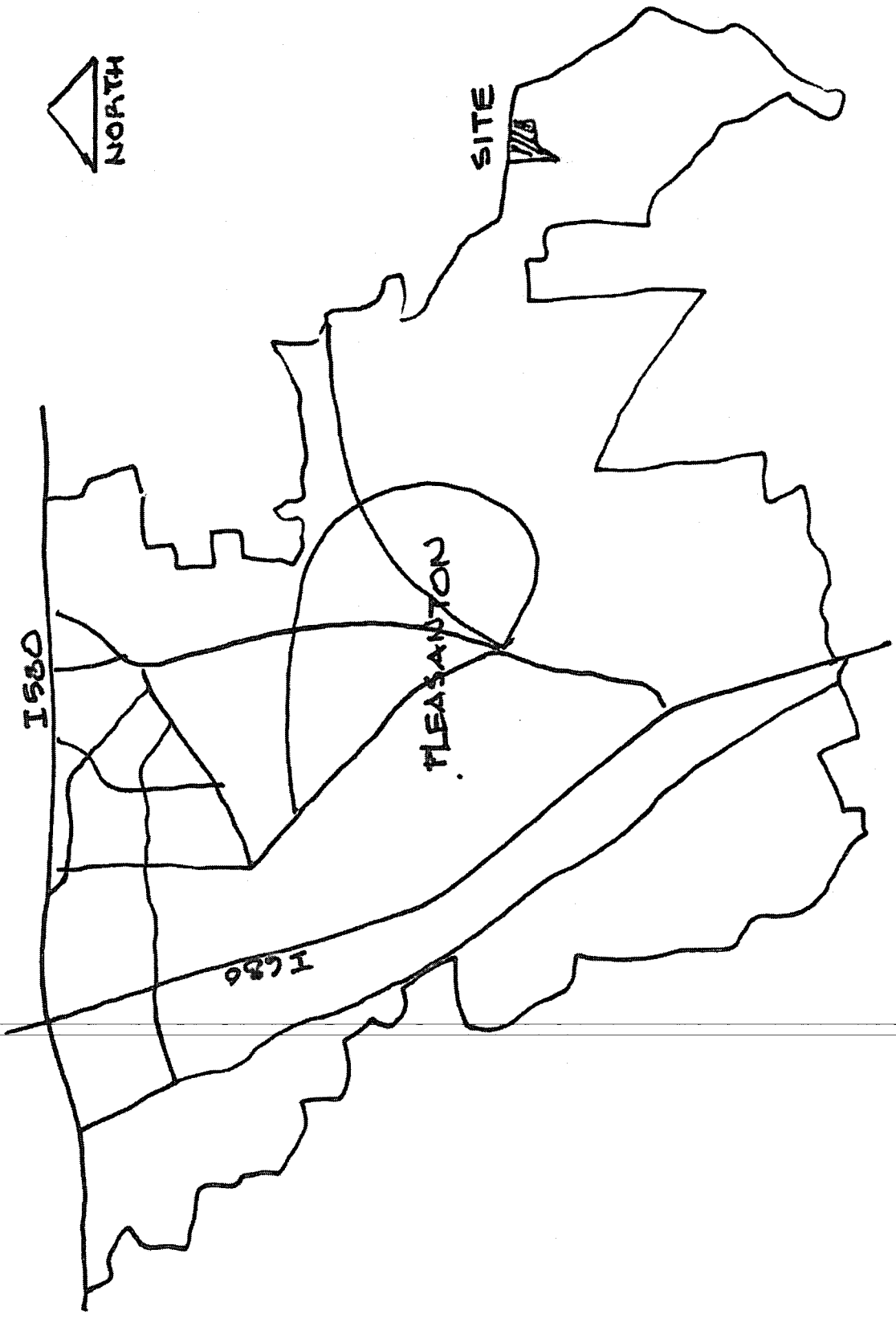
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LOCATION PLAN

## **1. GENERAL:**

This document is intended to facilitate future design, design review and approval of the intended home on within the 36 acre lot at Vineyard Road in Pleasanton.

Its purpose will be to outline procedures as well as tasks to be performed in order for the Owner of the Lot, to obtain approvals and be able to construct the single family residence.

This process or set of rules will guide the design of the home, to satisfy City requirements, neighborhood requirements and code requirements. This process will be harmonized with the Project Program and Owner's requirements and/or goals.

Design Guidelines will also provide uniform and simple method to limit development options to few styles, thus facilitating review process and maintain intended for the area stylistic flavor.



### **1.a Community.**

The site for the future home is located in the City of Pleasanton east side, within rich agricultural area devoted almost exclusively to grape growing and wine making.

The residential developments that weave through the acres of vineyards have been developed in a Northern Italian building image that produce a very unique feel of the old world charm and country living.

Proximity to the downtowns of Pleasanton and Livermore make the home site even more desirable from the standpoint of livability and convenience, combined with the near by restaurant owned by the homeowners.

### **1.b Property:**

The property has 36 acres, set between access to Ruby Hill Community to the east and a winery with the community center to the west. The southern edge of the site is facing Ruby Hill Community golf course and housing.

Entire site is flat and almost contiguous with the adjacent vineyards making it a part of the large area covered by vines. The lot configuration is flat and at almost its midst it is dissected by the creek.

The build able area allowed for development is set at 2.5 acres.

Most of this acreage is devoted to the restaurant development, parking and the access road. The residence will be allotted approximately 10,000 sq.ft. of land for the home development.

### **1.c Home site area:**

The home site area is set within 2.5 acre allowed to be developed. Since the vineyards will create a backdrop and a proverbial back yard to the house the build able area for the home and amenities is set at approximately 10, 000 sq.ft..

This small swat of land is located beyond the creek, set within rich vineyard growth and adjacent but at a discrete distance of 50' feet from the Ruby Hill community lot line and the creek alike.

This location makes the future home almost invisible like a spec, insignificant within the vast Vineyard spread.

### **1.d Access**

The home site will be accessed through a main road devoted for the restaurant and than branch off at the southern part, as a narrow 12'-0" wide private road leading through an existing bridge over the creek to the home site.

The access will follow similar paving pattern as the main driveway. A fine compacted gravel, decomposed marble and granite with timber boards approx. 12"x12" at random length in groupings of 2 per wheel stripe. Center line will have 3 boards attached together for inner wheels in both directions.

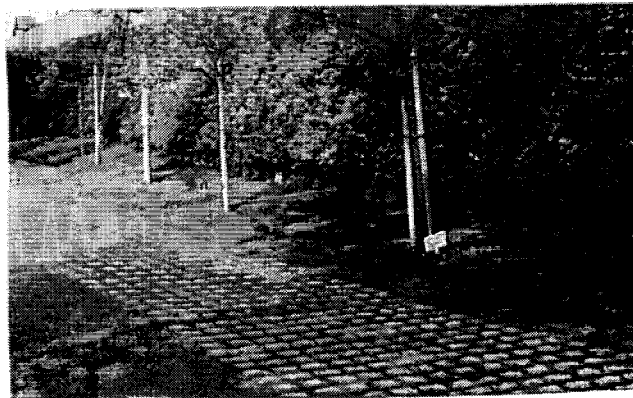
As an alternate a turf stone paving may be considered, but the substrata must support 55,000 lbs of load.

On either side of the 12' wide driveway there will be landscape strip of low shrubs blocking car light glaring and transition to the vineyards beyond.

The driveway will terminate at the home site making a tight turn around and garage access leader facing east.

The on site driveway will be either country style decomposed marble or cobble paving.

Fire engine access needs to be mitigated to allow for the engine turnaround at the home site after emergency access is completed.



**1e. Idea**

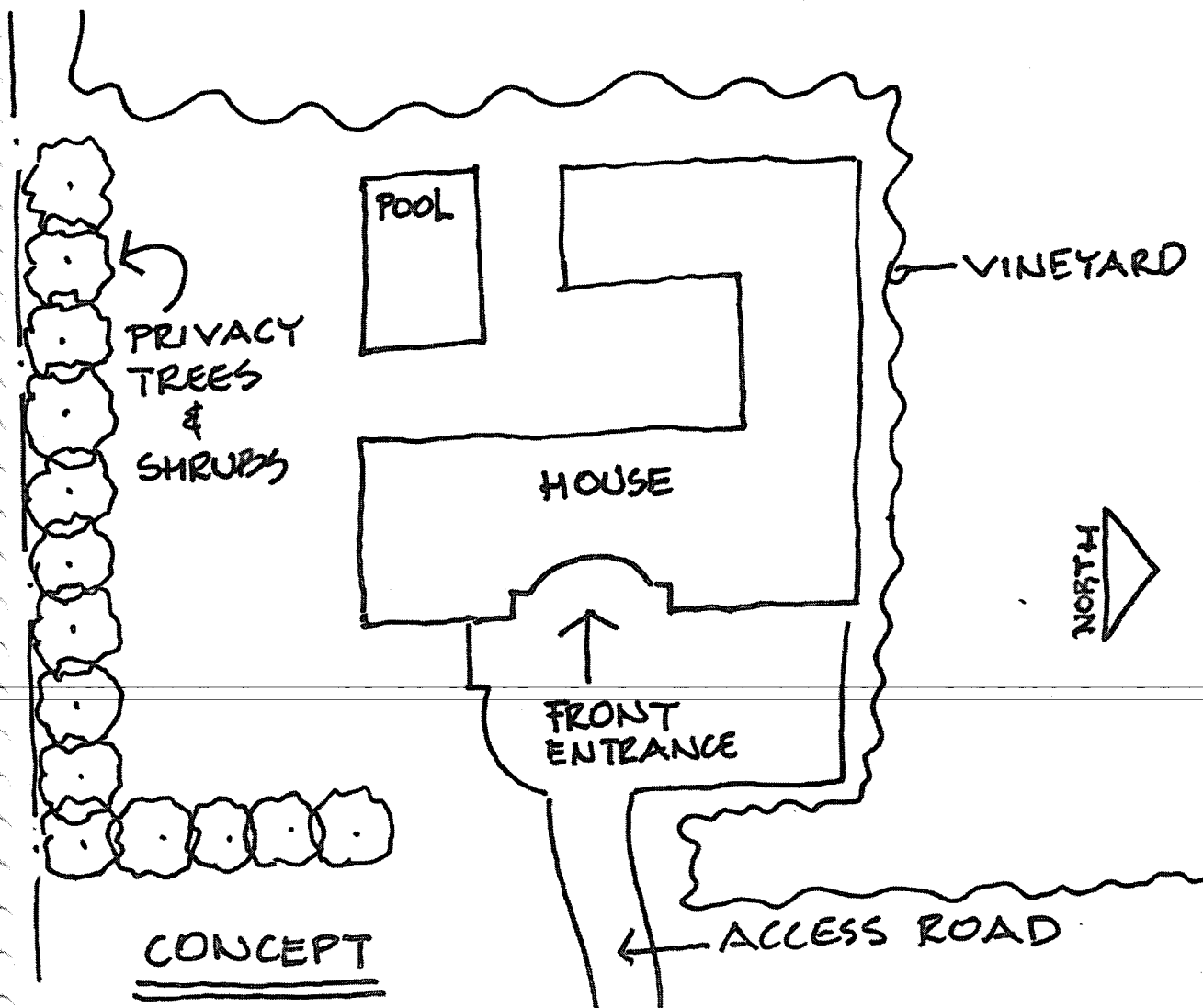
The idea for the home will be derived first and foremost from the theme of the neighborhood and the existing restaurant building on the lot.

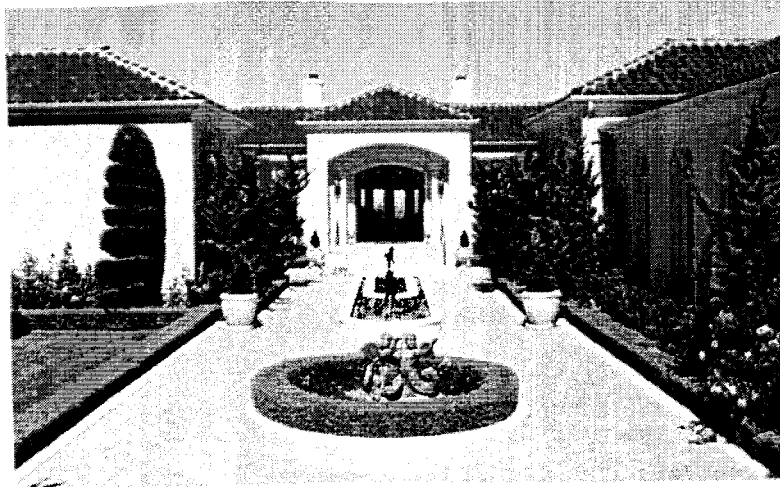
The style may vary slightly but be in general terms similar to Tuscan Architectural style.

Barrel, S type or similar roof tiles in terracotta, stucco walls with some stone veneer and wood framed doors and windows.

The best would be to have the home designed as a courtyard home with the interior facing south and west towards vineyards.

Privacy will need to be of utmost importance with the use of trellised passageways and pool areas.





Privacy needs to work both ways for the homeowner and the neighbors.

Single story configuration would be preferable but not mandatory.

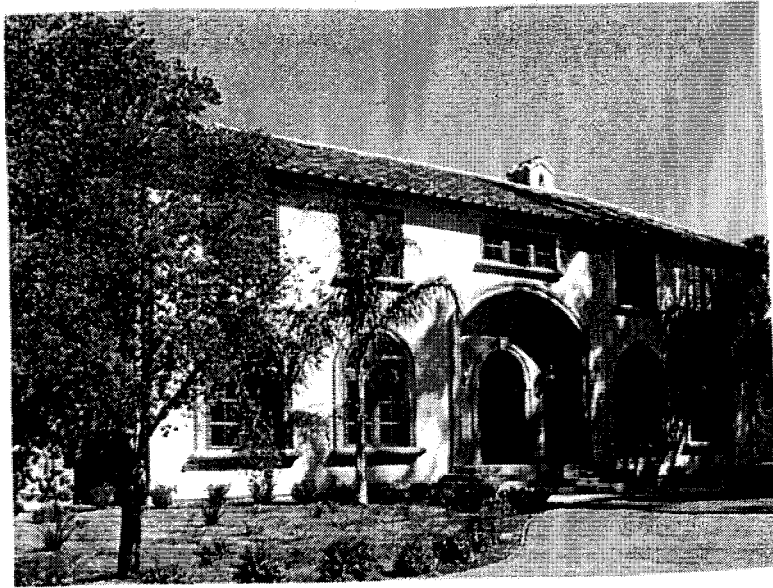
Use of arched doorways and windows should be encouraged with copper metals and wrought iron as an element of so called small architecture.

Home will need to be closely integrated with the vineyards, almost attached to the vine rows, where the rooms from the interior will continue into the vineyard.

Colors to be earthy, or antique white with variegated accent walls in deeper sand/adobe color combinations. Trim to be wood in dark gray or black. Window shutters will be a considerable part of the exterior treatment.







## **2. HOME DESIGN AND APPROVAL PROCESS:**

### **2.a Glimpse into the site:**

The Site is located in the center of the acreage.

It is flanked on east side by the restaurant side of the lot and the creek. The creek is 50' from the home site.

The site is flanked on the south side by the Ruby Hill Neighborhood and lush privacy landscaping.

The west and north sides of the site are flanked by the vineyards.

The area is flat and allows for the simple and environment friendly building site.

The building in a single story configuration would fit perfectly into the nature and essentially be invisible from the outside world.

### **2.b Design Approach**

The design will be derived from the style of Italian region of Tuscany (Toscana)

Another aspect will be the orientation to the sun, therefore south and west exposure will be left for wonderful views and energy capturing.

Use of a courtyard and portico's with columns will allow for shading of the home and allowing for a three dimensional look of the elevation.

Large wall and bulk of the building with wide walls and roofs will not be acceptable. Entire structure will need to be fractured and a resulting building will need to resemble a small town composed of small buildings which although in same style may vary in general look.

Garages will be located at the east side of the lot, close to the access bridge and invisible when approaching the home. Garages may be attached or detached. If detached the link to the home should be through trellised passageway immersed in foliage.

Pool will be located at the south side of the site.

Building will be placed on the boundary between build able area and the vineyards. This will leave balance of the site for construction and little architectural elements enhancing the architectural experience.

Terracotta roof, stucco walls, wood windows and doors and copper metal will distinguish the structure from its environment. Certain degree of aged state will be desirable. Thick walls will echo old world style, with the possible use of rice straw bales as a wall component (both for wall volume and insulation).

### **2.c Review process:**

Review process for the design will be on the City Planning Staff level in strict adherence to this design guidelines and City Zoning requirements for the R-1-6500 district, with exception that the home may be located on the boundary between the 2.5 acre build able area and the remaining agricultural area.

Neighbors within 300 feet of the site will have the chance to review the proposed design based on the notification similar to Administrative Site Review as per R-1-6500 requirements.

After 30 day approval process the Owner may submit plans to the building department for the building permit.

Plans required will have to address, Architectural Design, Structural Design, Drainage and Grading, Mechanical, Electrical, Plumbing design, Soil Report and a Survey Plan.

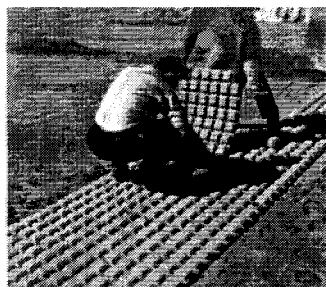
### **2.d Design Plans and Construction Documents**

Design Plans for the staff review will require to show following information:

1. Site Plan
2. Floor plan(s)
3. Section
3. Elevations
4. Roof Plan
5. Window and door details
6. Lighting Details
7. Little architecture details (trellises, walks, driveways, planters, benches etc)

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Construction documents will require code related information in addition to the above plans from all disciplines as described in item 2.c.





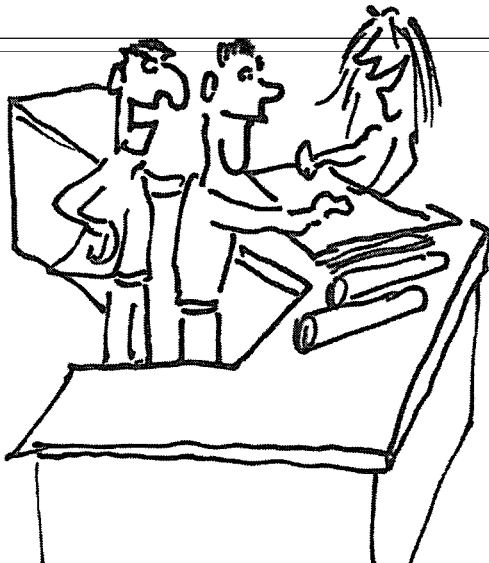
DESIGN &  
PLANNING



PLANNING  
STAFF  
APPROVAL



CONSTRUCTION  
DOCUMENTS



BUILDING  
PERMIT

### **3.b Home Site preparation-Grading and Drainage.**

Site grading and drainage will have to be prepared by the Civil Engineer to Code/City requirements. All storm water to be drained away from home into the vineyards through wide area, which will prevent agricultural uses erosion.

Site shall be graded to a bare minimum if any just to nudge the water from draining towards the structure. Natural land configuration to be maintained as much as possible.

### **3.c Fire Department Suggestions**

Fire Department must have an access to home site for emergency calls, both fire and medical. The access route needs to allow the fire engine to reach the home with ease and speed that is required in case of emergencies.

All curves and turns need to comply with the fire department turning radius requirement.

Paved area must support min. 55,000 lbs of weight on the fire engine.

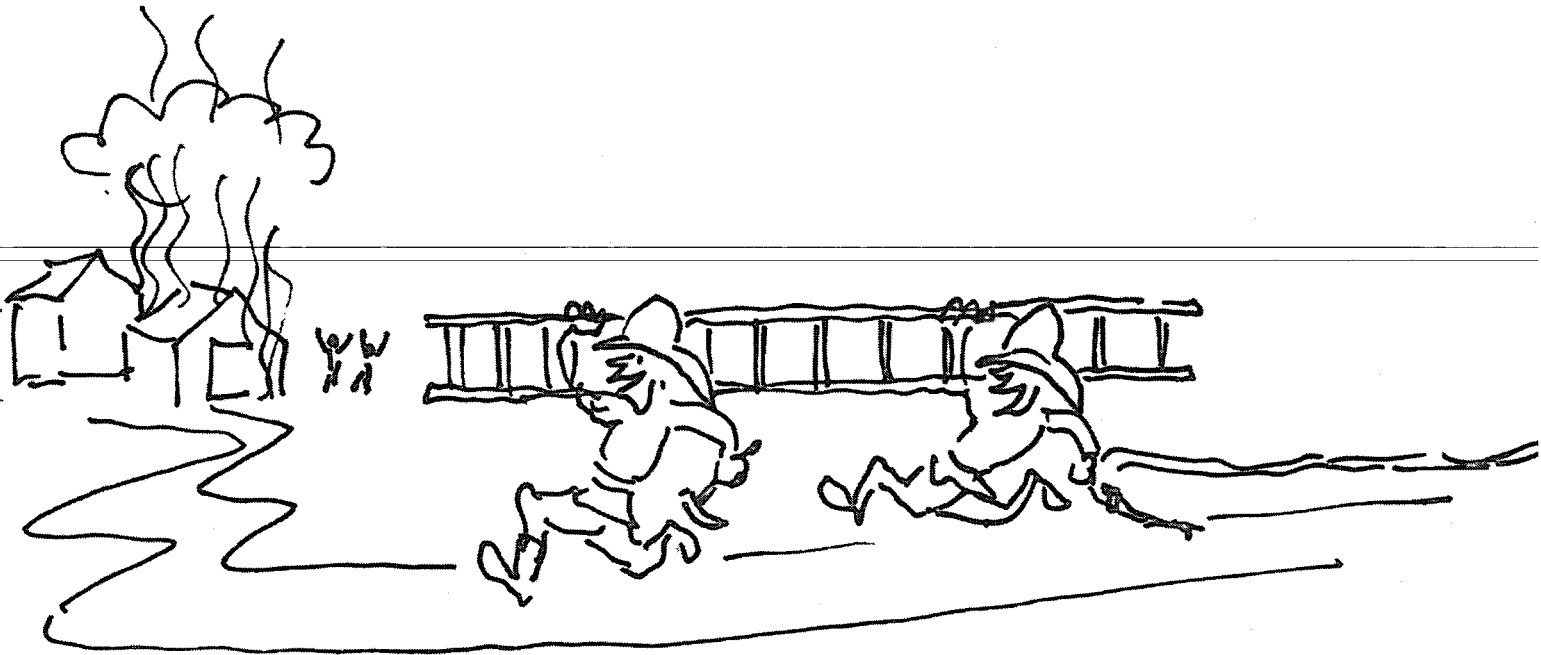
The access must relatively smooth and even along the path of travel without speed bumps.

Fire department will have to review the proposed home design particularly for the access.

Because of the home location it was a fire department suggestion to allow for an emergency access to home site directly from Ruby-Hill drive through the current fence with the gate and curb cut inconspicuously located and operated by the department remote key.

This emergency access would have to be negotiated with the Ruby Hill Association at the time of Home construction.

The location of the home will warrant installation of the residential fire sprinkler system throughout the structure.





### **3.d Landscaping**

Landscaping of the home site will be limited and contained only to the area of the development.

South side will provide for tall trees like cypress and other dense evergreens to provide privacy from and for the home to Ruby-Hill.

Some vine type and flower beds including shrubbery with accented trees around the site will be located as part of the home design.

The home will need to have a landscape plan prepared by the Landscape Architect for the planning department approval.

The landscape plan will need to identify plant material and irrigation methodology as well as drainage.

Main landscape focus will be to bring the vineyards into the site from the adjacent vineyard.





LANDSCAPE ELEMENTS





## LANDSCAPE ELEMENTS



#### **4. GUIDELINES FOR ARCHITECTURAL DESIGN:**

##### **General to all Styles**

In all styles windows and doors will be recessed in wall min 2" to provide the old world look producing a distinct shadow line.

In all styles use Tuscan columns min. 12" in diameter, full and half arches with porticos over terracotta tile porches.

##### **4.a Proposed Home Styles:**

The allowable styles of homes will include:

1. Traditional Tuscan Style
2. Stylized Tuscan Style, reflecting the look of the adjacent restaurant
3. Northern Italian Wine Country Farm House with some use of stone veneer.
4. Mediterranean General Style with some use of stone veneer
5. Classical Roman Style Villa

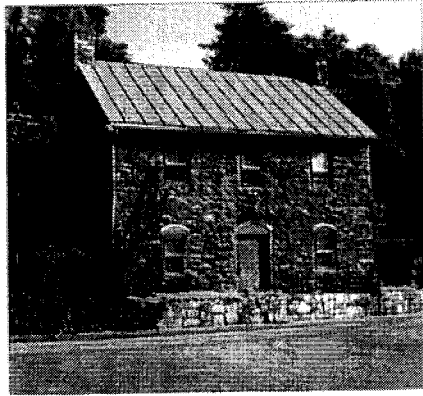


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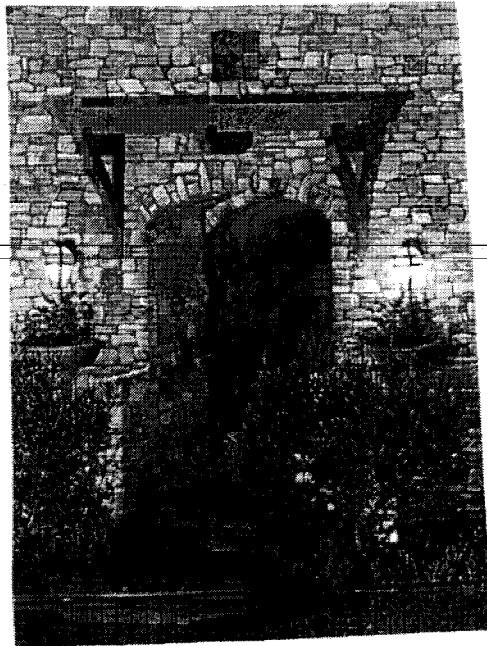




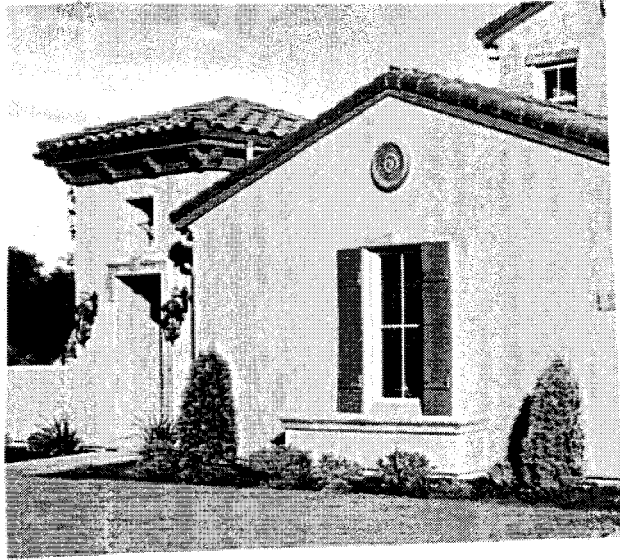
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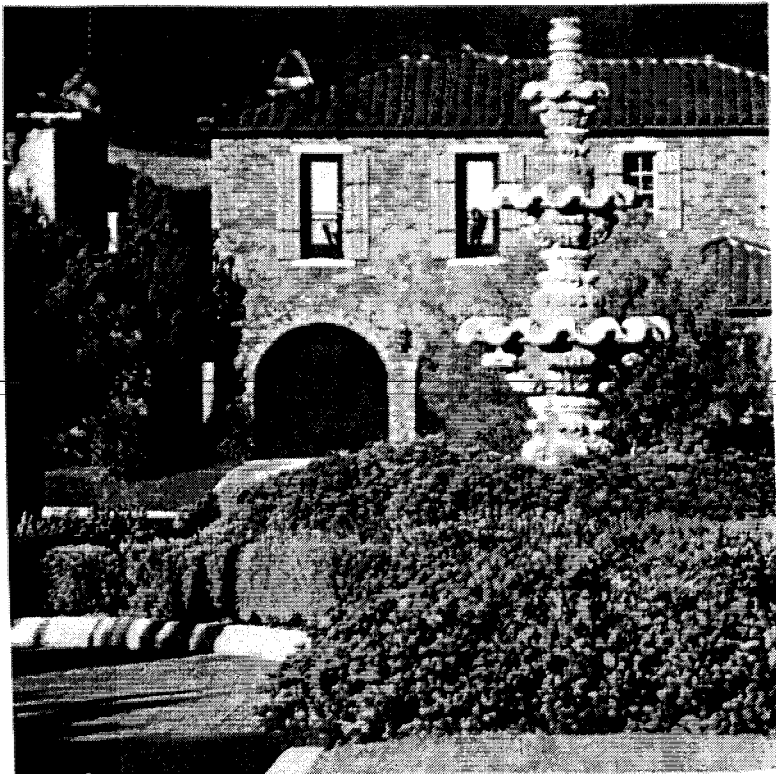
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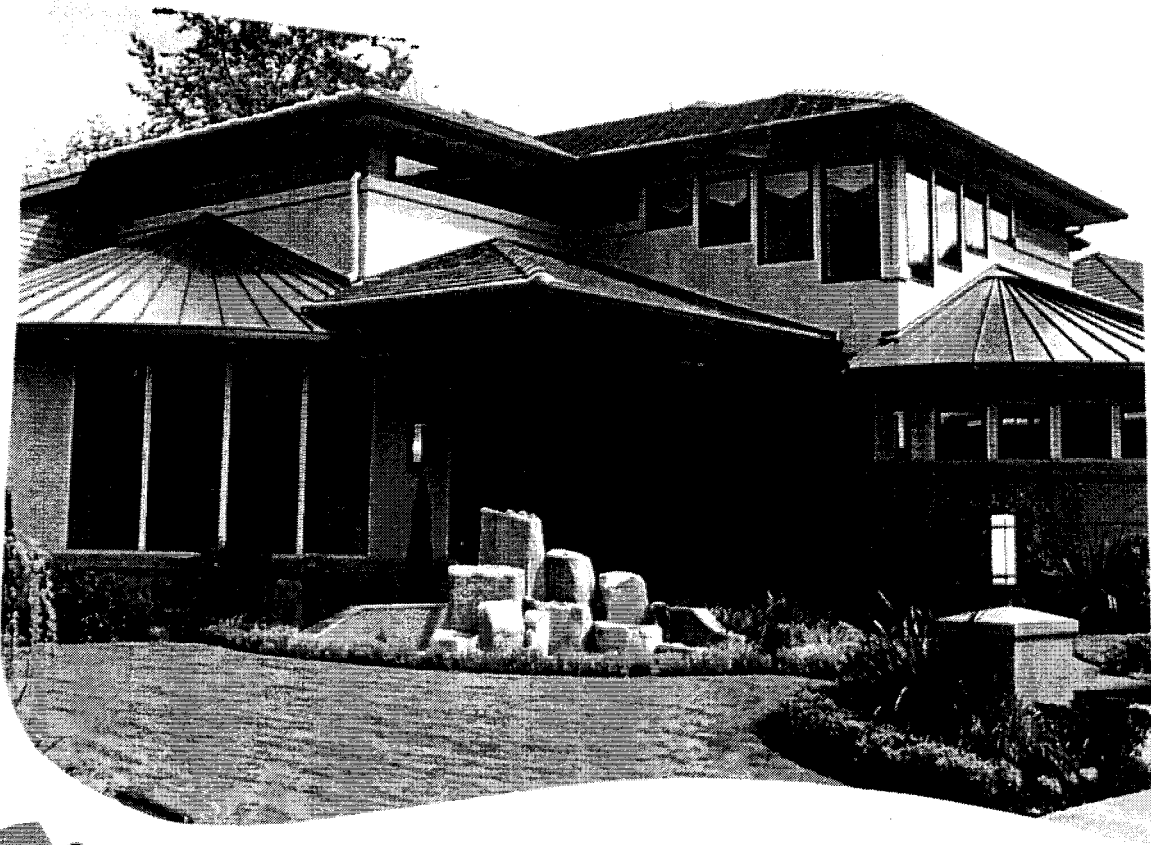
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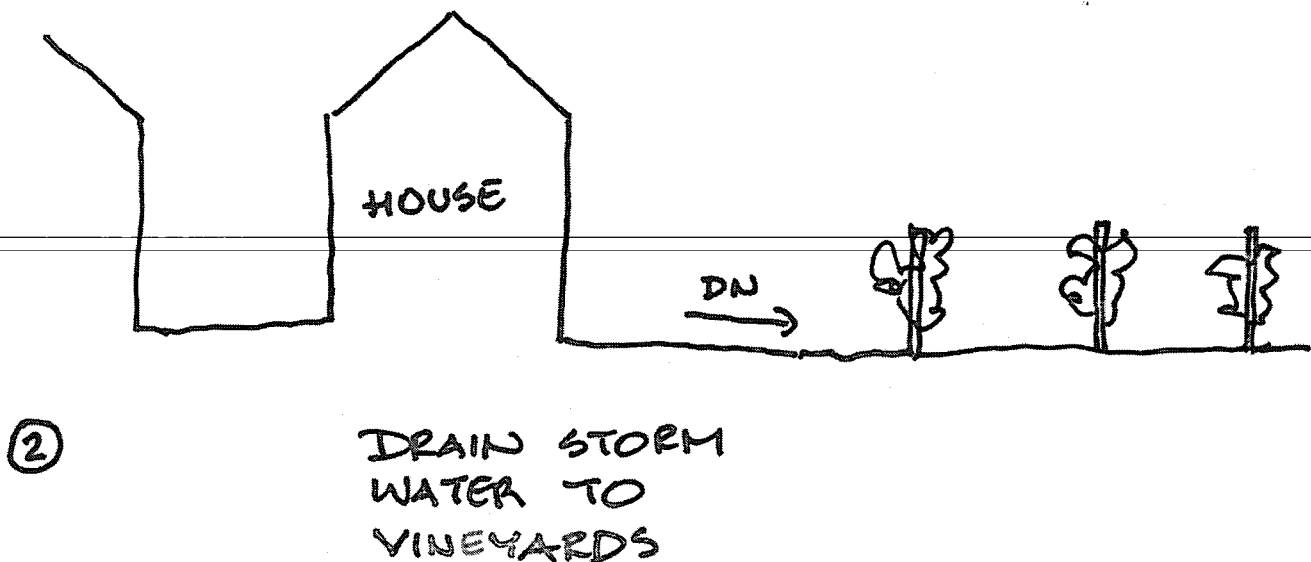
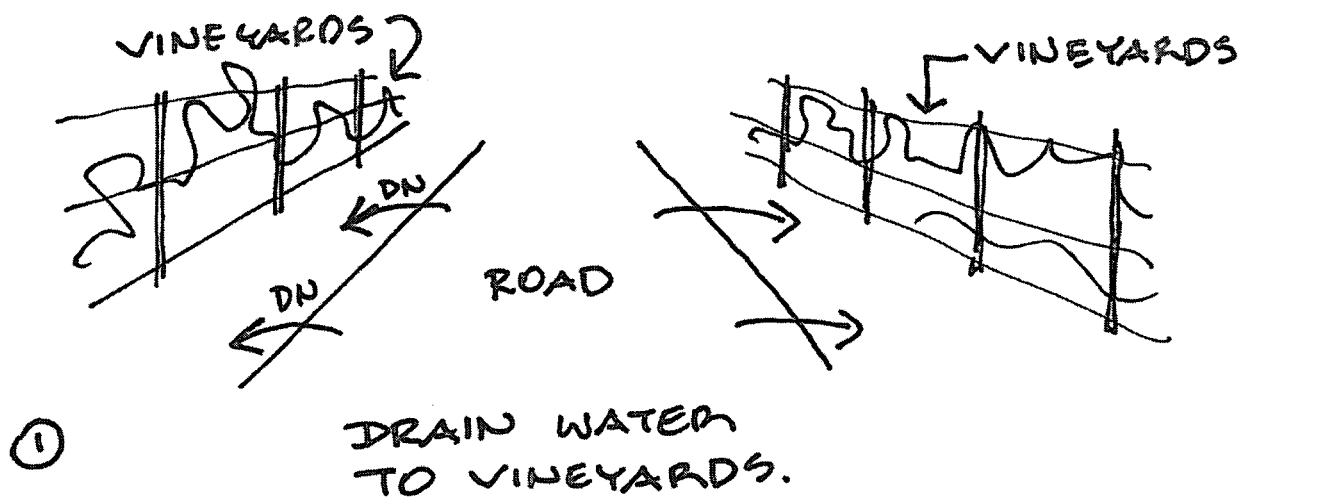
### 3. GUIDELINES FOR THE SITE PREPARATION

#### 3.a Access to home:

The site access will need an engineered plan prepared by the civil engineer. Access will need to support a load min. of 55,000 lbs (fire truck)

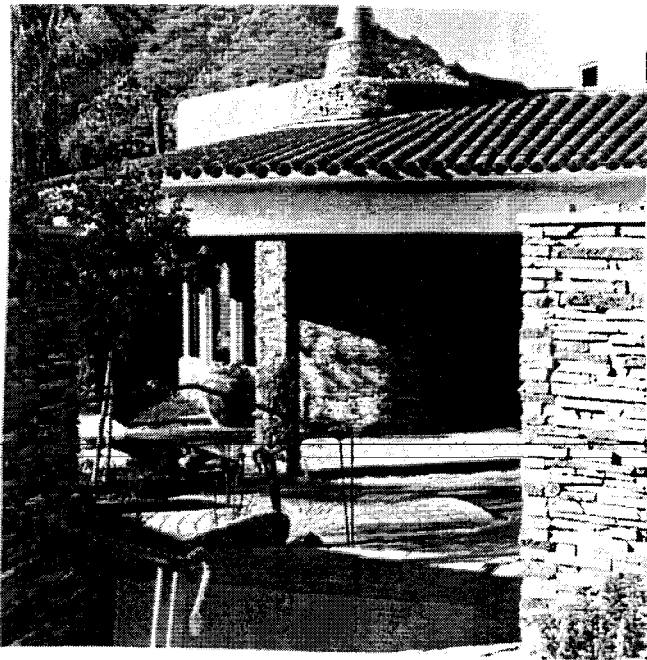
The access needs to drain to adjacent vineyards and look as a country road rather than paved street.

On site driveway needs to be designed to City standard by the Civil Engineer, with the accountability for drainage and 55000 lbs lading minimum. Estate like driveway with cobble pavers or decomposed marble will be acceptable.





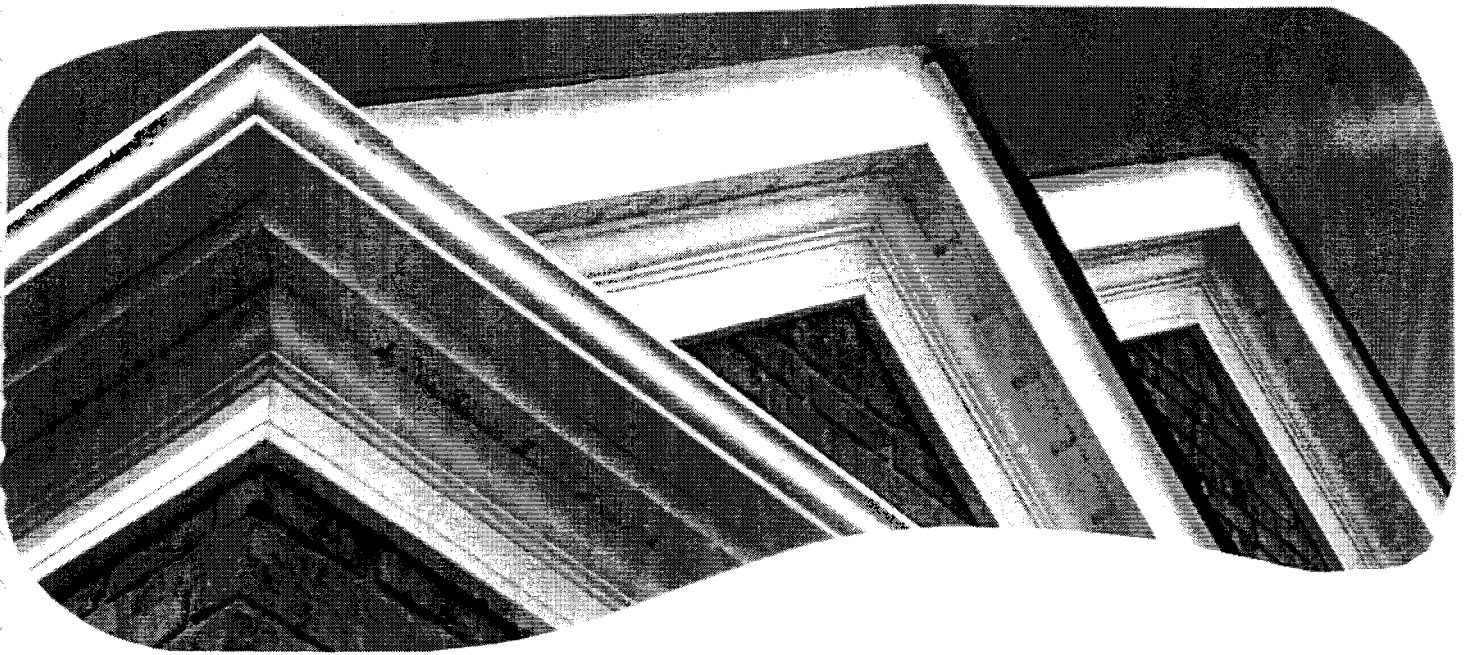
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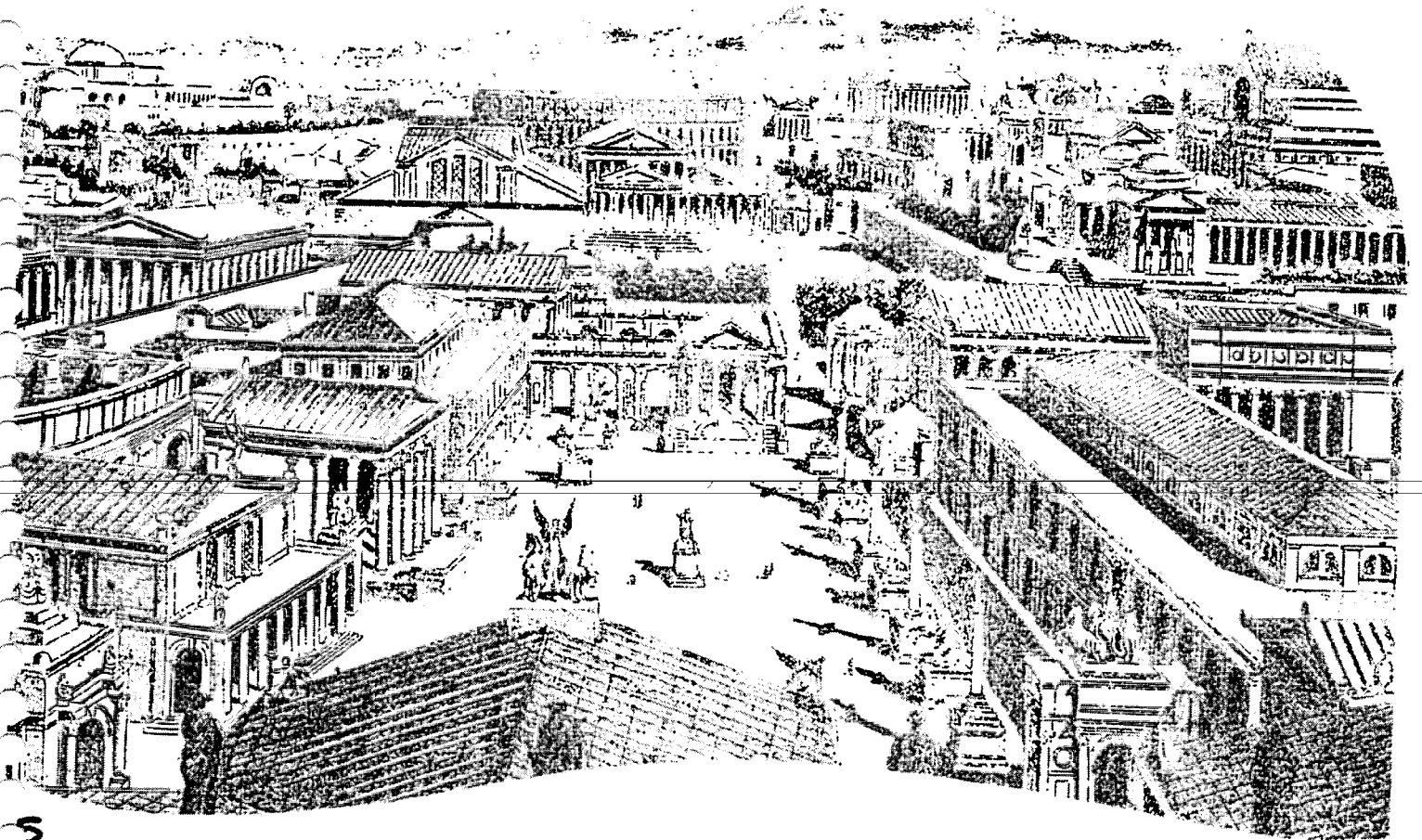
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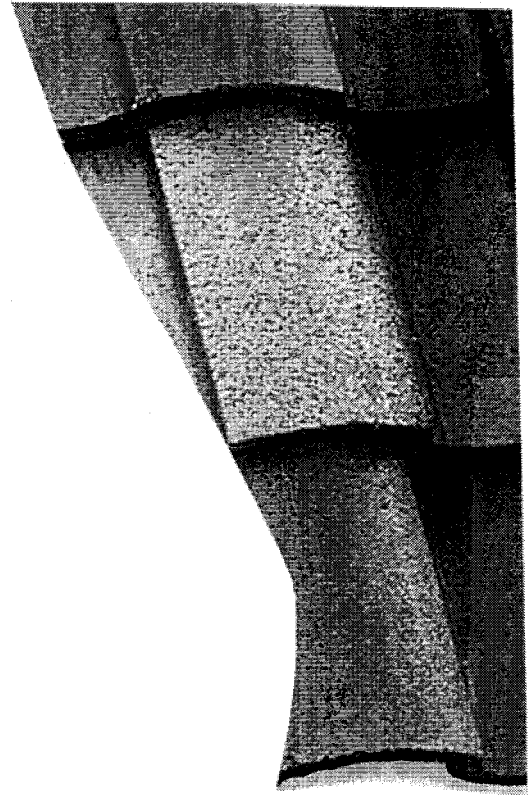
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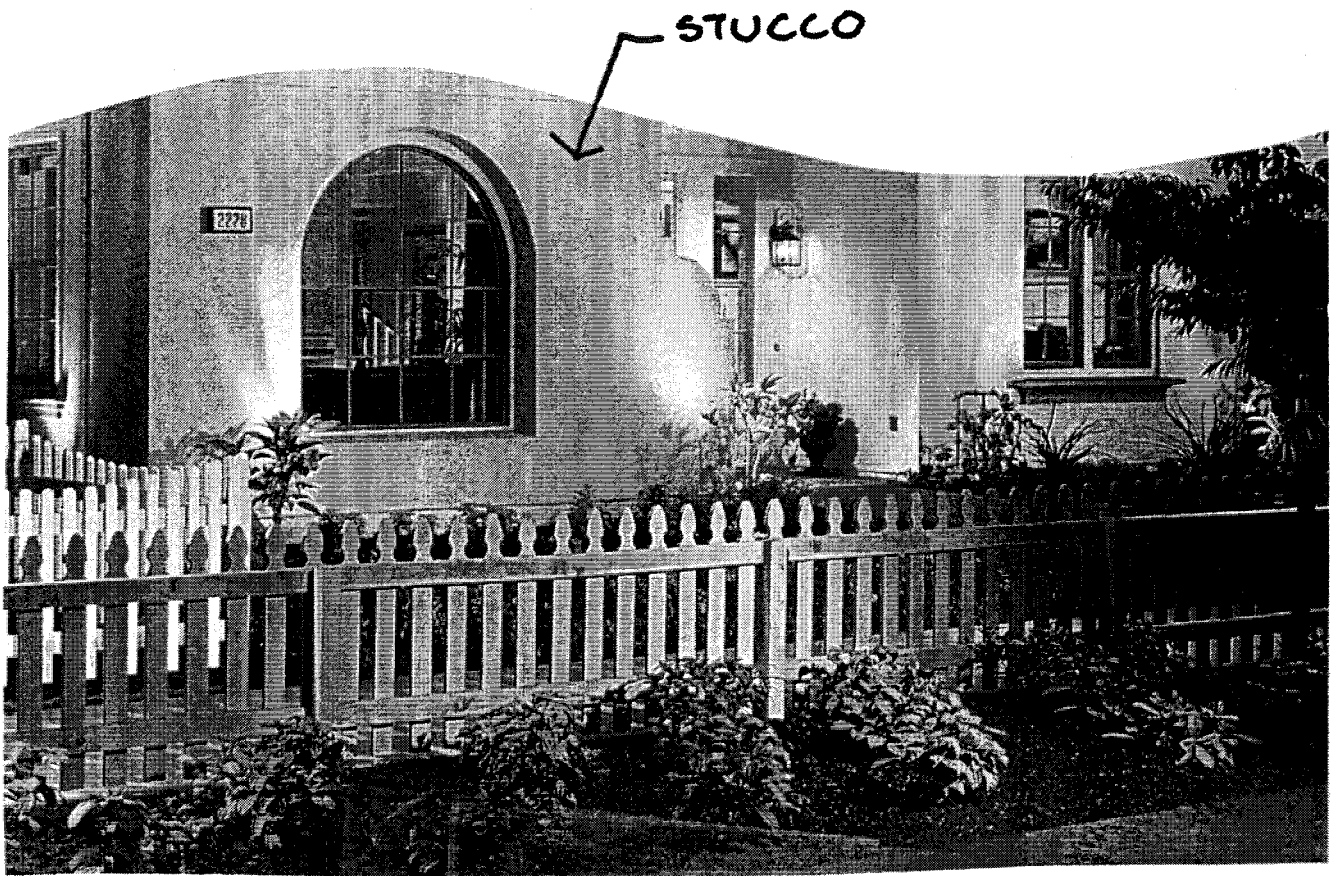
#### **4.b Roof Covering per Style**

1. Traditional Tuscan Style - the roof covering will be terracotta, flashed concrete or clay tile, Barrel or S- type.
2. Stylized Tuscan Style- the roof covering will be terracotta, flashed concrete or clay tile. Barrel or S-type.
3. Northern Italian Wine Country Farm House - the roof covering will be terracotta flashed concrete or clay tile, barrel or S-type. Also a real copper standing seam roof may be considered as an alternate.
4. Mediterranean General Style - the roof covering will be terracotta, flashed concrete or clay tile, Barrel or S-type.
5. Classical Roman Villa-the roof covering will be flashed clay tile, Barrel type.

#### **4.c Wall Covering:**

1. Traditional Tuscan Style- wall covering will be stucco in a sand, adobe or off white color with light hand trowel finish light texture almost smooth, aged look.
2. Stylized Tuscan Style-wall covering will be as in item #1.
3. Northern Italian Wine Country Farm House-the wall will be light colored smooth stucco (antique white, yellow or adobe) with patches of brick protruding from beyond (damaged look) and/or cobble rock veneer particularly on rounded portions of the building and carriage buildings.
4. Mediterranean General style - wall covering will be stucco with some rock accents at base. Stucco color-sand, yellow, antique white or variegated combination of all three, uneven finish from smooth to medium texture (from top to bottom) Possibly show some rice straw protruding from the surface of the stucco in some places.



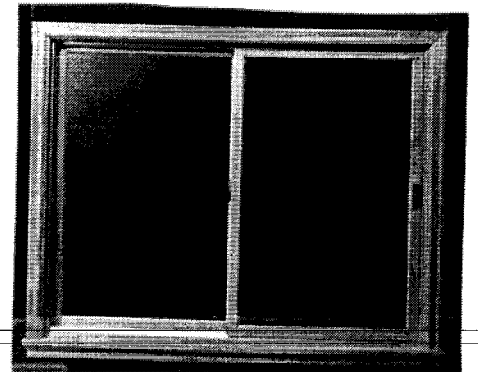
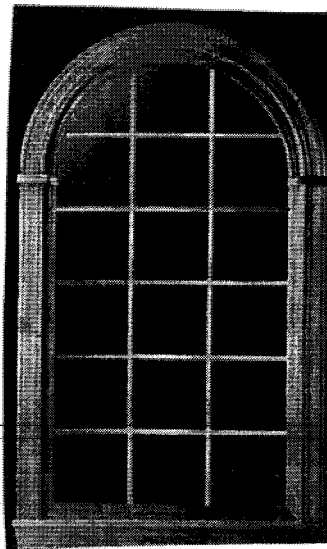
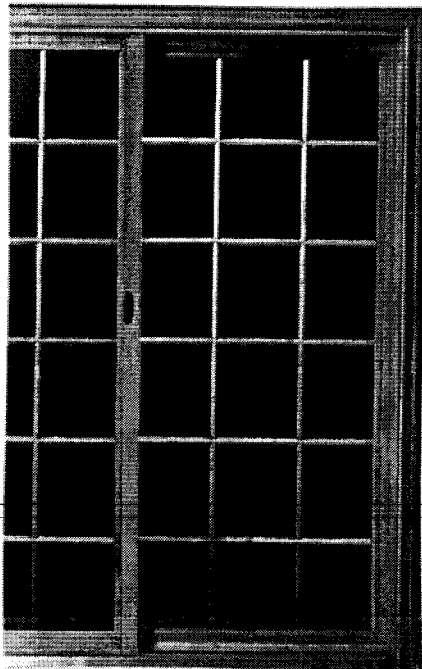


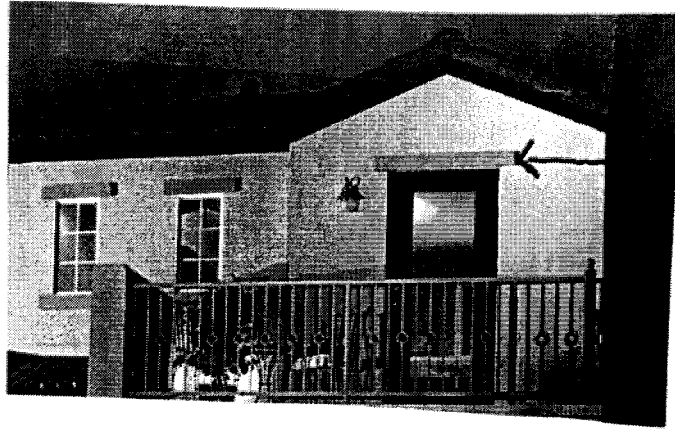
5. Classical Roman Villa—the wall covering will be stucco, smooth finish, very even, adobe or light yellow in color.

**4.d Window and Door types per Style:**

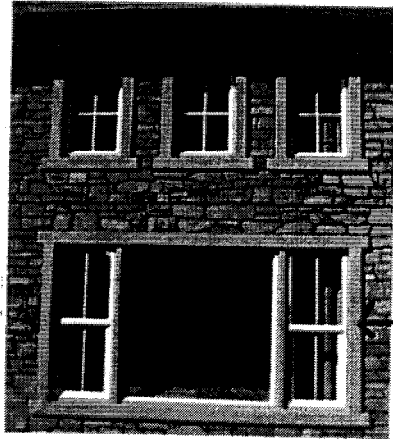
1. Traditional Tuscan Style— Windows and doors will be wood, heavy type, walnut or cherry look. Window/door opening to have a stone trim in natural stone color min. 6" wide.
2. Stylized Tuscan Style— Windows and doors will be wood, stained walnut or cherry, window/door opening to have a stucco trim min. 6" wide 2" beyond stucco, mimicking stone trim.
3. Northern Italian Wine Country Farm House Style—Windows and doors will be wood heavy type, Olive tree like, black stained, with the openings trimmed in natural stone.
4. Mediterranean General style—Windows and doors will be wood, maple stained, with openings trimmed with stucco looking like stone or natural stone 6" wide min.
5. Roman Villa Style— Windows and doors will be wood, heavy type, Olive tree stained (black).

The opening will be trimmed in a min 8" wide natural stone trim

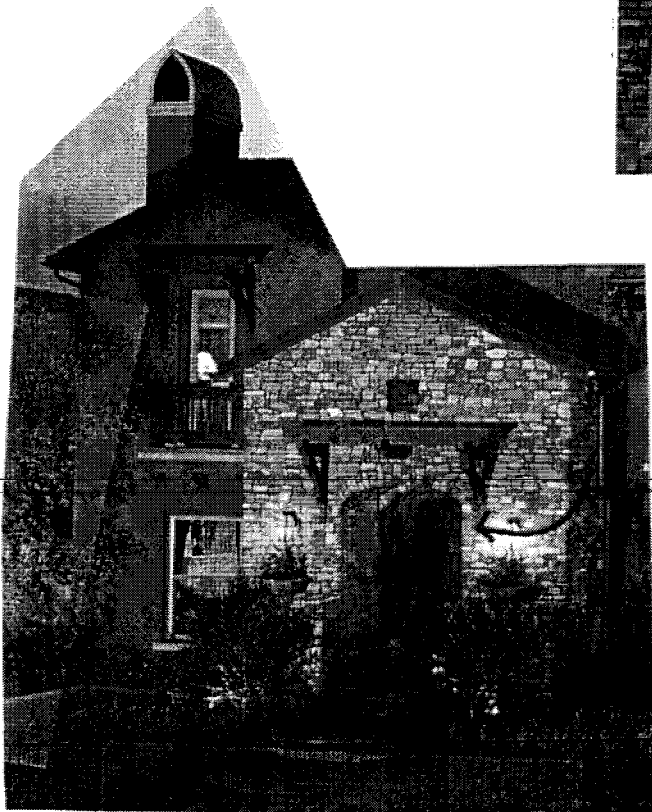




TRIM



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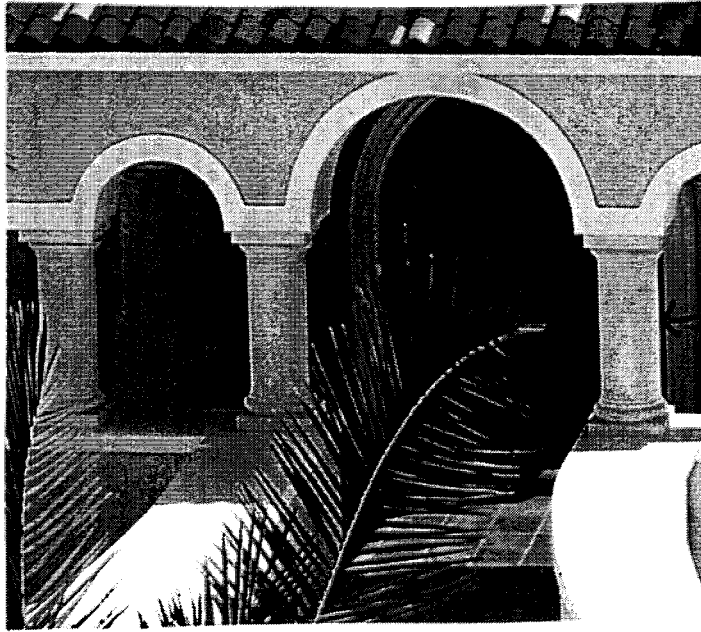
STONE TRIM



← WINDOW STONE TRIM



WINDOW TRIM

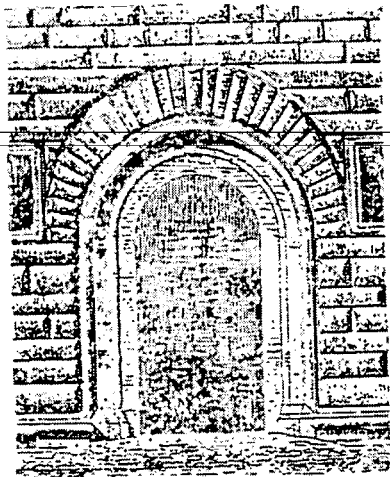
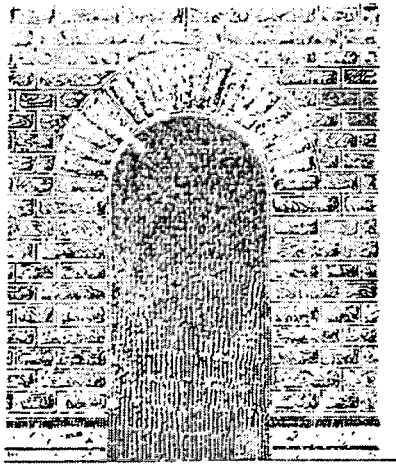
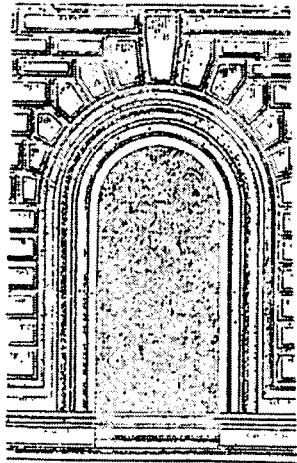


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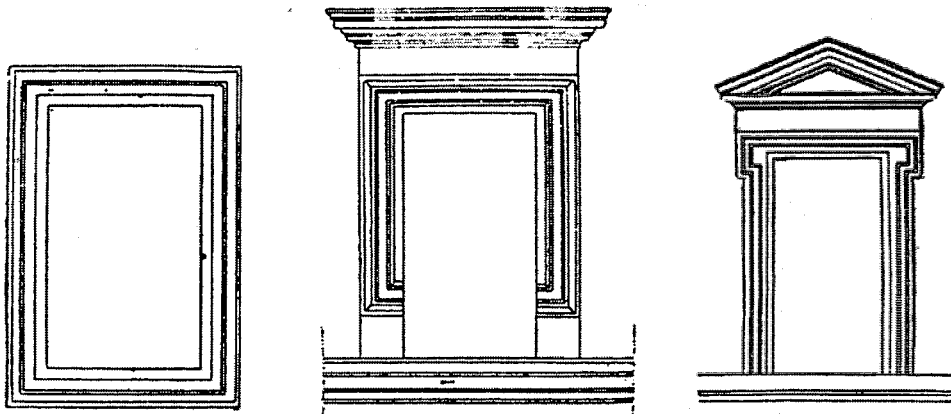
— COLUMN



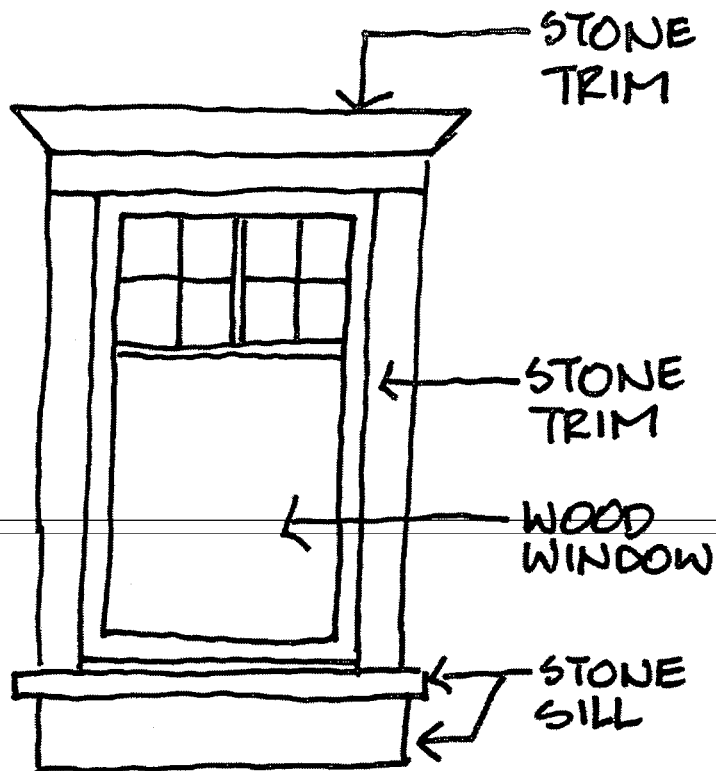
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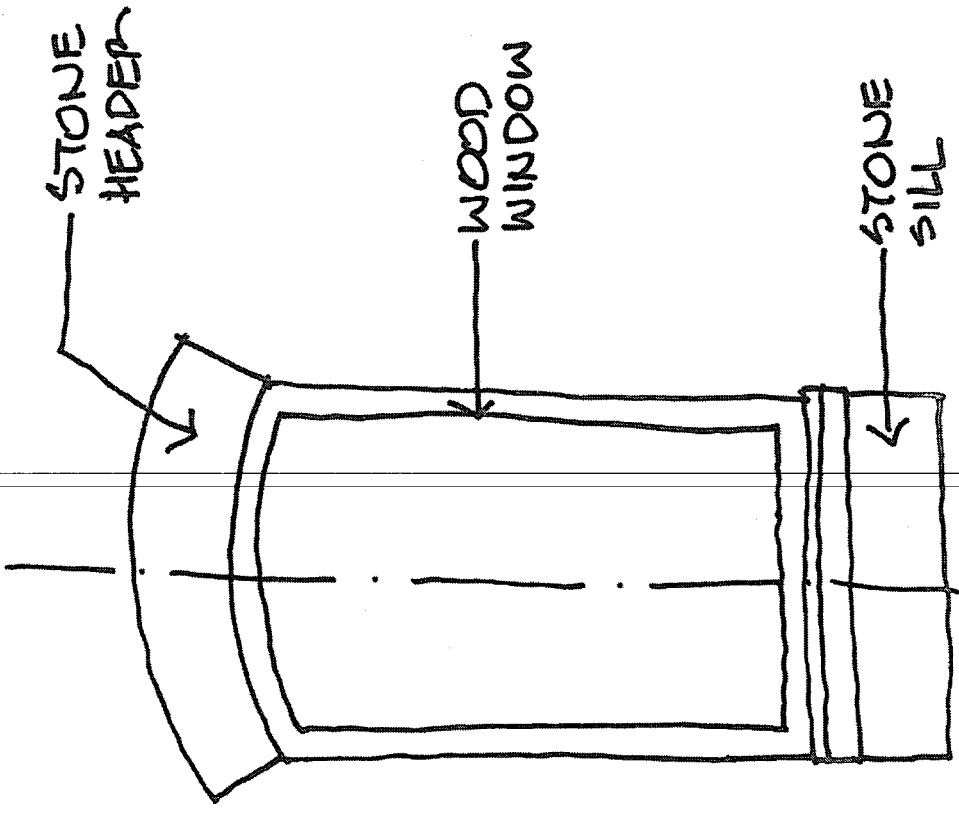
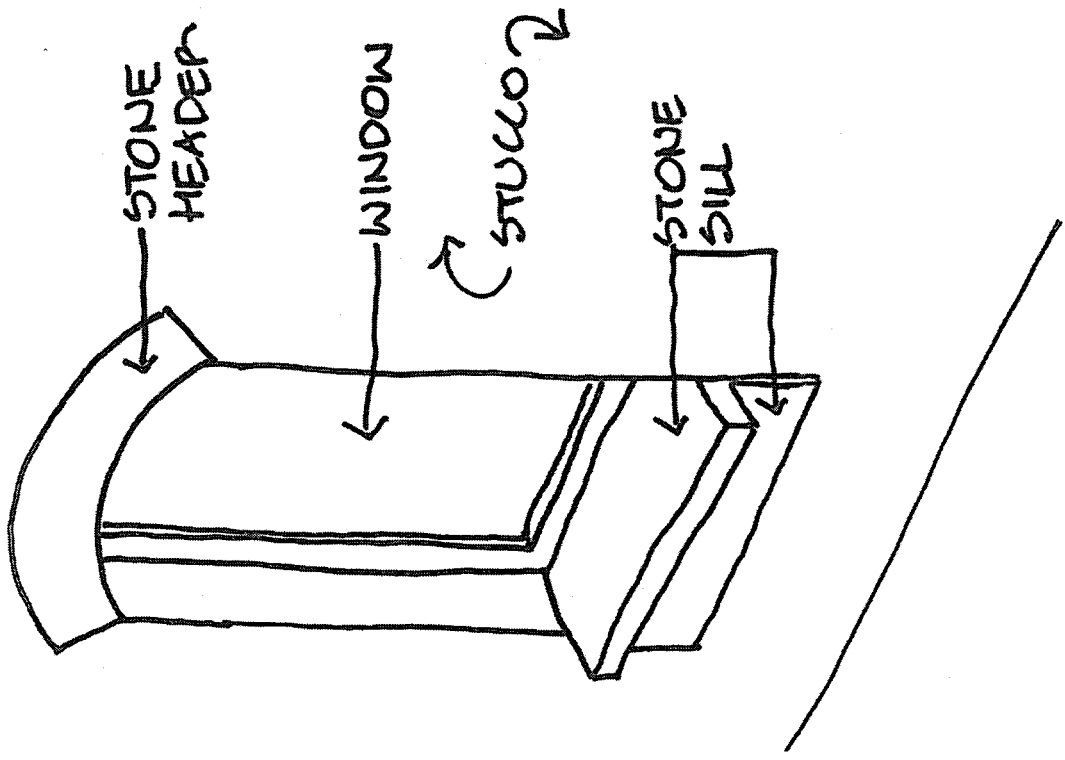
DOOR TRIM



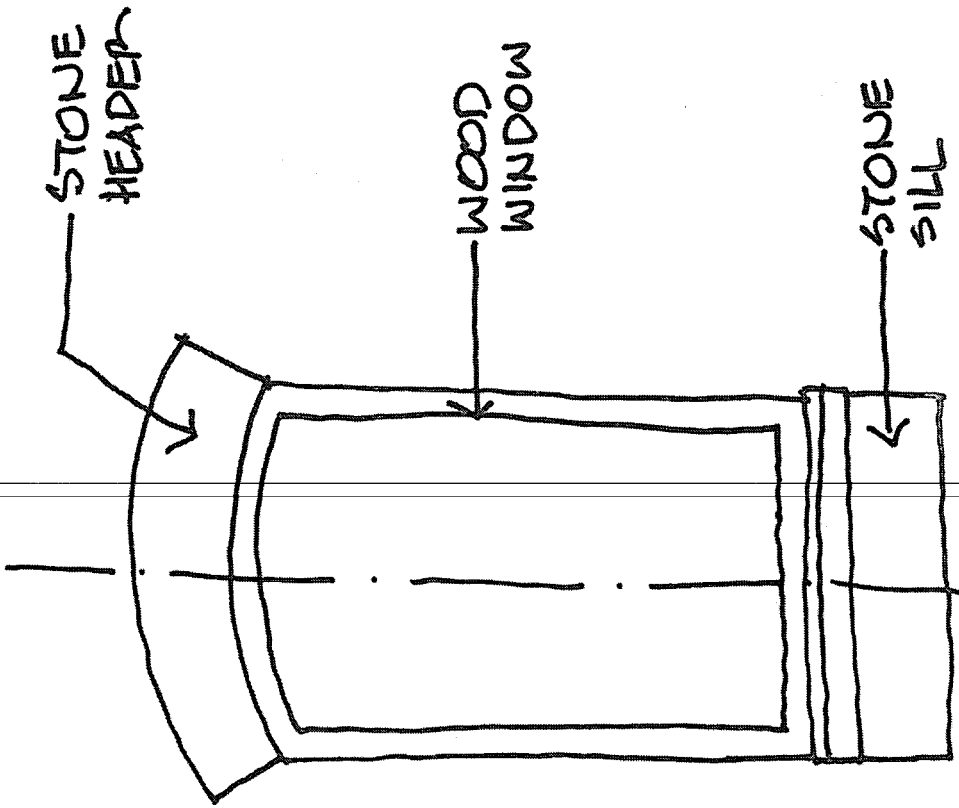
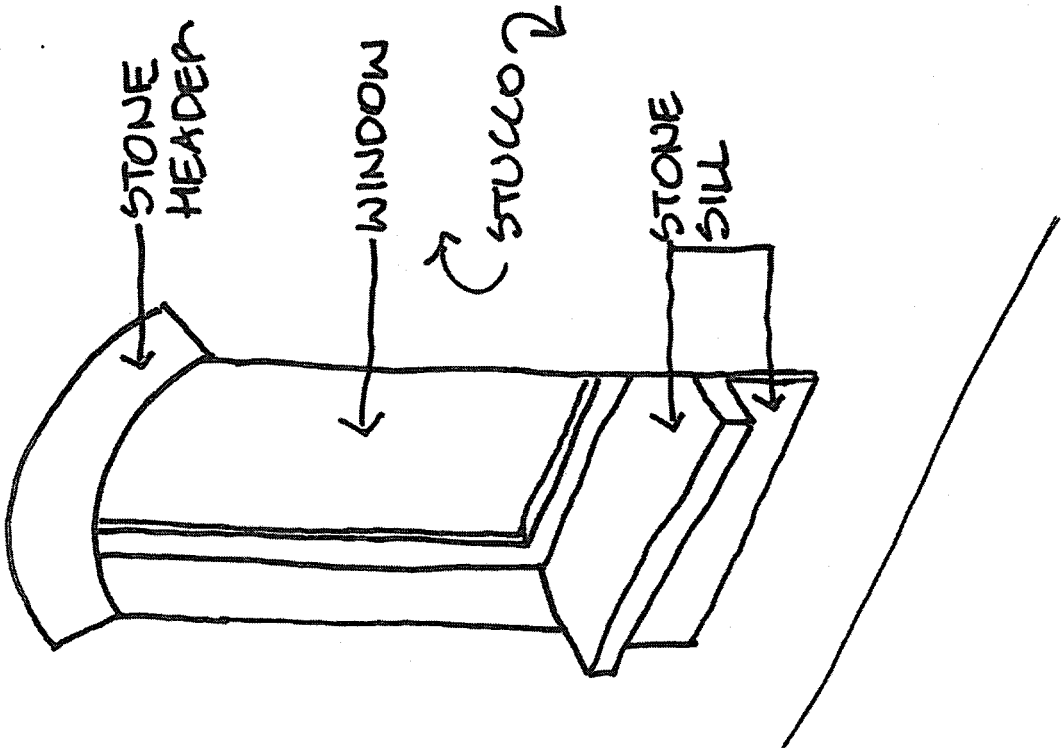
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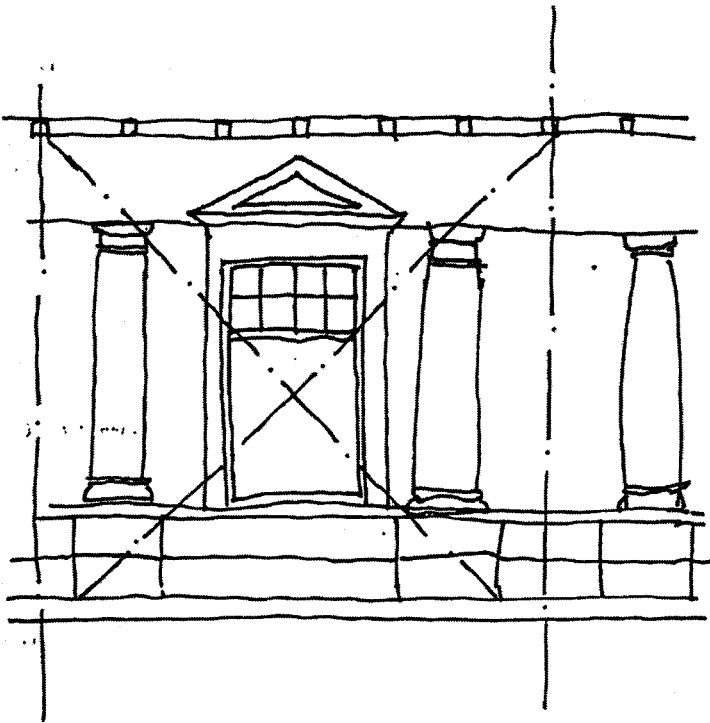


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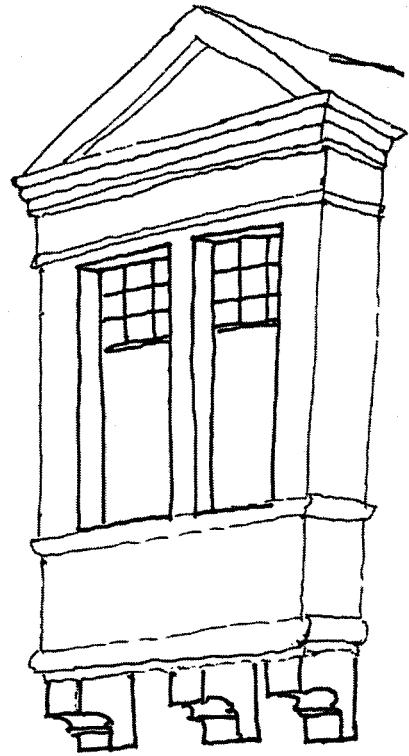




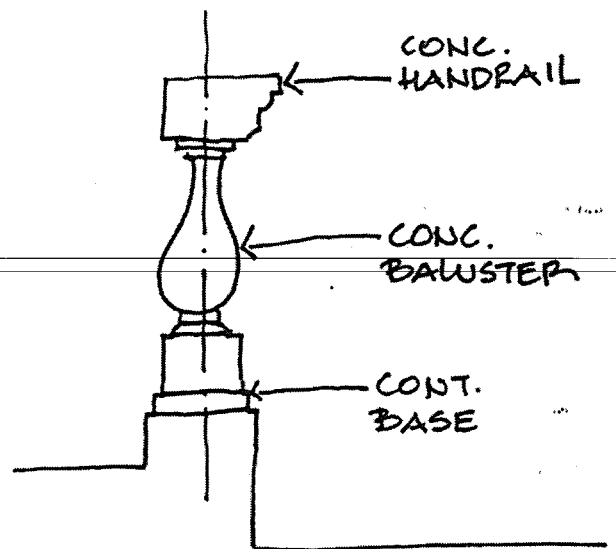
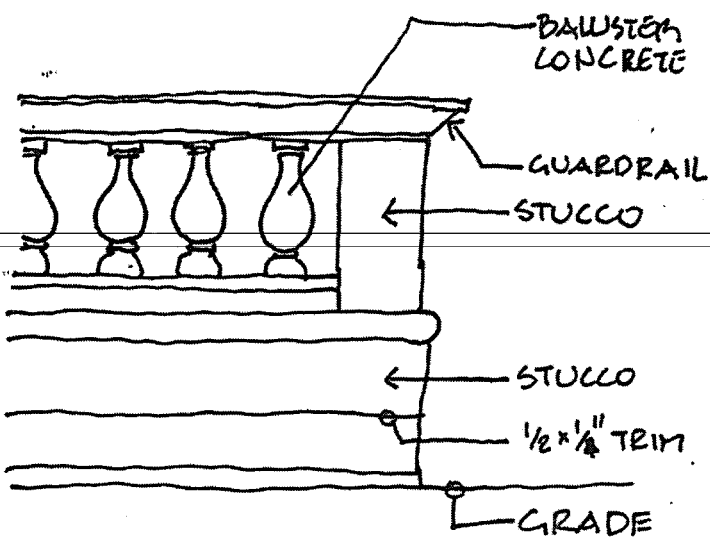


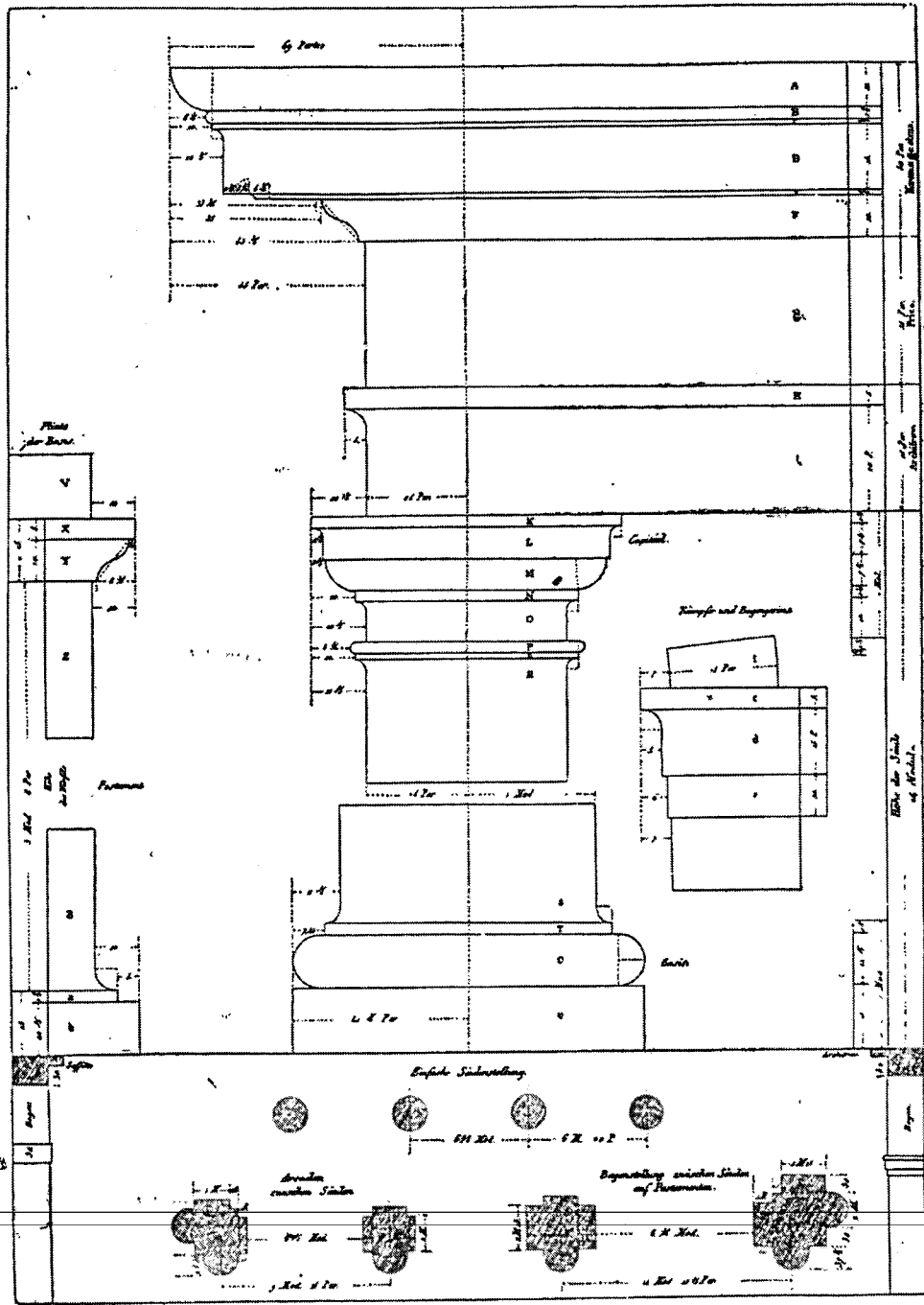


WINDOW/WALL PROPORTIONS

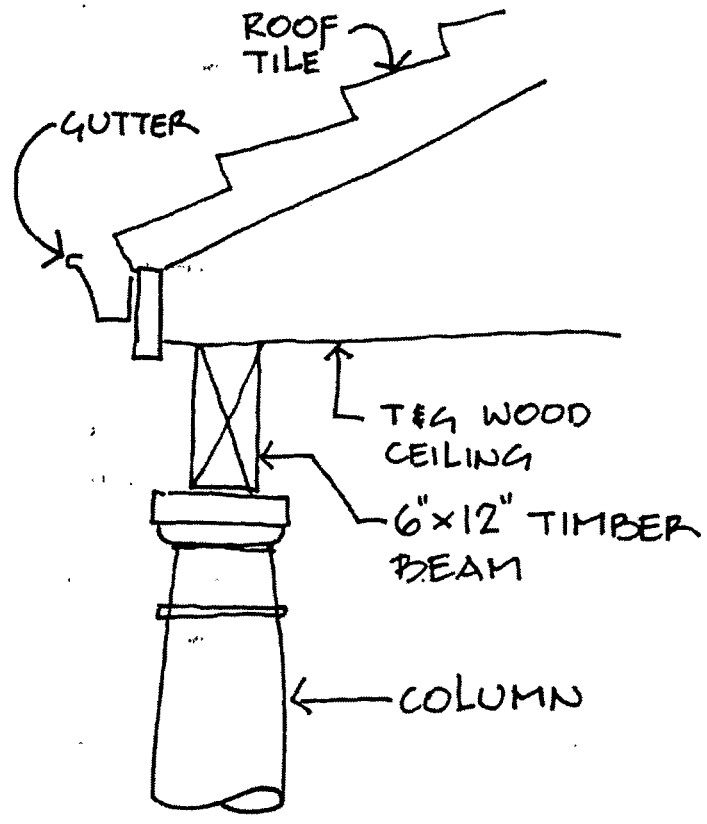


WINDOW PROJECTION

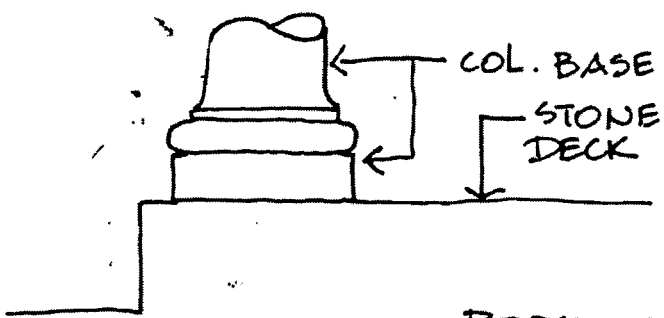




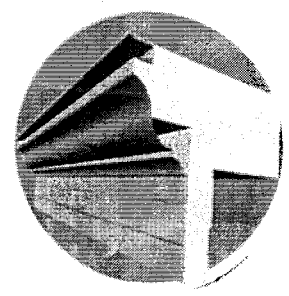
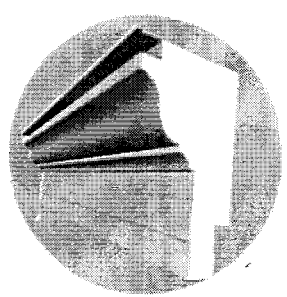
TOSCAN ORDER



PORCH DETAIL



PORCH DETAIL



**5. PROJECT APPROVAL PROCESS:**

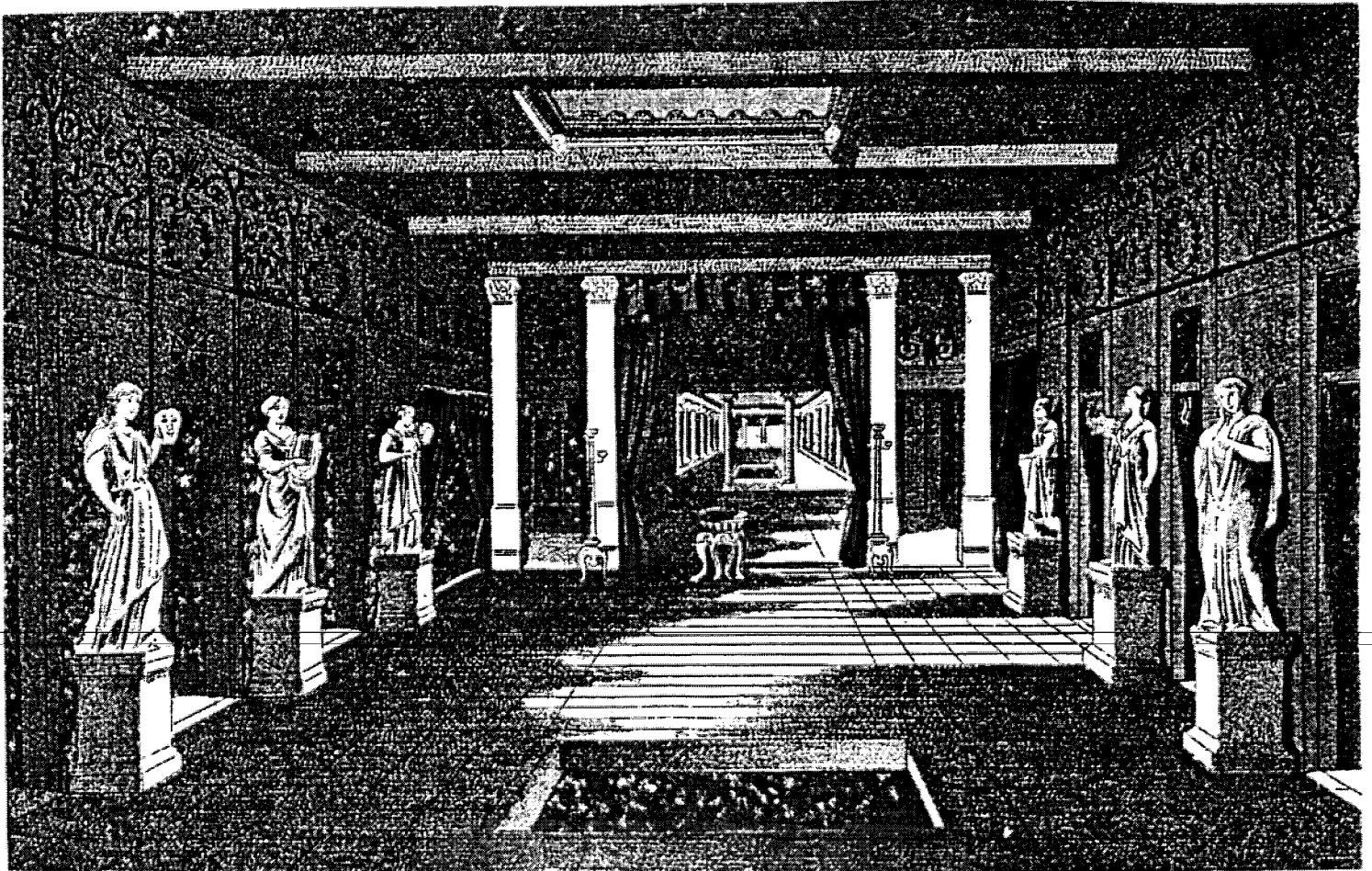
**5.a City Planning Department**

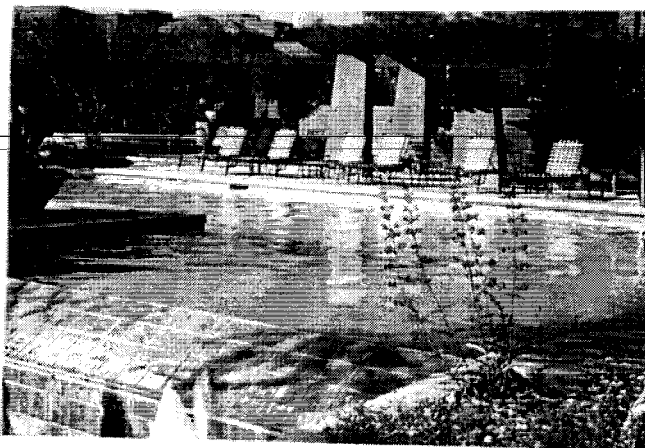
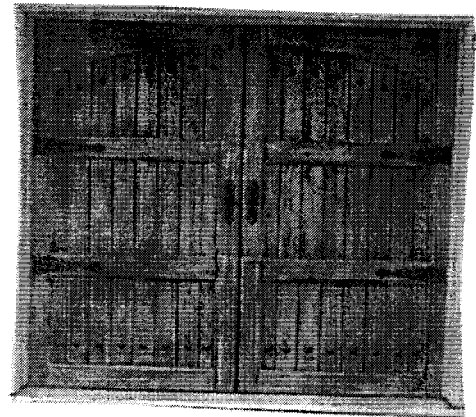
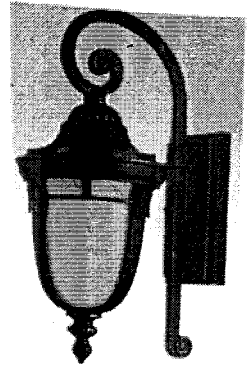
City Planning Department will appoint a planner to work with the design team and the Owner on the Project to satisfy the requirements of the Guidelines as well as City Zoning requirements.

The project Design will be approved by the Planning Department at the Staff level.

**5.b City Building Department**

Project construction documents will reviewed and approved by the City Building Department including Engineering Dept in order to obtain a Building Permit.





**PROJECT DESCRIPTION: Liliom Restaurant**

There is a shortage of fine restaurants and venues to hold special events in the South Livermore Valley Area. As a developing and beautiful wine-growing region, there are more and more people interested in visiting the Livermore Valley. It is becoming a premier tourist destination for those who enjoy fine food and wine, as well as the vineyard setting for weddings, parties and special events. There is a current overflow of these tourists from the Napa/Sonoma region. Liliom restaurant would be a great added value not only for tourists but also residents of this exquisite wine region. Furthermore, there are only few numbers of these quality venues on the Pleasanton side of this developing wine region. The Nagys believe that this is the best possible use for the existing building and the 36 acre vineyard.

Although an elegant and fine-cuisine restaurant, the family operated Liliom Restaurant would be a warm and friendly setting both for families and professionals looking for a touch of class. The master chef would create an experience for your pallet that will take you from the Italian Riviera to the shores of the Danube to the coast of California.

In addition to a gourmet restaurant, Liliom would serve as a venue for special events. Liliom would be the perfect location for elegant and romantic weddings. In cooperation with local wineries, wine tasting would be held to promote the Livermore Wine Country as well as other California Wine regions. Liliom plans to hold periodical cooking and self-enrichment classes for adults as well as children.

**Site Design:**

The existing building, which was the former real estate sales center office for Ruby Hill, would be turned into a gourmet Restaurant to accommodate inside dining, outside terrace dining and special events such as weddings inside the restaurant and outside on the patio.

No major modification is proposed to the exterior of the existing building. The interior would be modified to accommodate a gourmet kitchen and restaurant dining and banquets.

Besides the main dining hall, the restaurant would be composed of various private banquet rooms. These private rooms will be suitable for every occasion from intimate family conversations to small special events.

The second floor of the restaurant will be used for banquets, special events and dining. Offices as well as storage facilities will be upstairs.

The existing terrace at the rear of the building would be enlarged to encircle the building. The enlarged terrace would be designed in the same style as the existing terrace. A patio would be created away from Ruby Hill Development, sheltered by the existing building and reuse vegetation. The patio, which stretches into the vineyard, would be used for

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LEASANTON PLANNING COMMISSION  
DATE 10/26/2011

OCT 04 2011  
CITY OF PLEASANTON  
PLANNING DIVISION

RECEIVED  
PUD-93-2-9M

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APR 20 2007  
CITY OF PLEASANTON  
PLANNING DIVISION

PUD-93-02-10M  
EXHIBIT B

outside wedding ceremonies, as people enjoy the vineyard setting for these special events.

The occupancy inside the restaurant would be 200 guests. The terrace would have occupancy of 100 guests.

Although the vineyard is fully leased and harvested by Wente Bros., a house labeled wine is planned to be sold at the restaurant.

Before the purchase of the property, general discussions about neighbor concerns were held during a meeting with the board of Ruby Hill HOA in the fall of 2005. The Nagys were had the opportunity to meet once again with the Board on 4-27-06, and a neighborhood meeting with residents of Ruby Hill was held on 6-29-06. As a result of these meetings, the Ruby Hill HOA sent a letter describing the concerns to the Nagys and the COP on 8-28-06.

With consideration to the comments, suggestions and concerns addressed during these meetings as well as written in the letter from the Ruby Hill HOA, the Site Plan as well as the Restaurant operation plan was created and then modified several times.

### **Entrance**

To mitigate the concern of traffic congestion on Ruby Hill Blvd, a new and separate drive way off of Vineyard Avenue was designed 500 feet away from the main entrance to Ruby Hill Blvd. The location of the new driveway was designed with the suggestion of the COP Engineering Department. This design included a \$19,000 traffic study to mitigate concerns of traffic and safety issues. The site access will be designed to traffic study recommendations and the City of Pleasanton Engineering Department standards and requirements.

### **Parking**

The parking lot layout was changed away from West Ruby Hill Drive to be among the vines, parallel to the private driveway. This change was done to mitigate the unwanted view of parked cars by residents driving on West Ruby Hill Drive. The view from the drive would not be changed but would remain of the vineyard. The revised parking lot would be further sheltered by additional dense vegetation and shrubbery to hide the parking lot from cars traveling on Ruby Hill Blvd. The dense vegetation would also hide the cars traveling on RH Blvd from guest and patrons dining at the restaurant.

The parking lot would provide a total of 91 parking spaces. Valet parking is proposed, and the parking attendants would park the guests' cars in the parking lot in order to facilitate on-site circulation.



In order to maintain the natural beauty of the area, the parking lot will use environmentally friendly materials such as densely compacted gravel, turf stone, pavers and recycled wood.

**Lighting:**

Although there are no Ruby Hill homes directly next to the property, it will be ensured that lights will not pass directly to the Ruby Hill Community. To mitigate concerns of lighting, low level lighting at 4 feet will be utilized along the driveway and in the parking lot. Lights from automobiles will be absorbed by the surrounding vineyard, dense landscaping and the building itself.

**Sewer:**

In discussions with the RH HOA, the Nagys requested to connect into their private sewer line. The Nagys proposed to install a booster pump with a lift station and pay for the maintenance of it. In the letter from the RH HOA (8-28-06) the Nagys were informed that the HOA is unwilling to allow any party access to their private sewer line. As a result, the Nagys have decided to construct a separate sewer lateral to tie in directly to the City of Pleasanton Line.

**Hours of Operation**

The restaurant would be open daily serving lunch and dinner and catering/hosting special events. In consideration to neighbors and neighboring events, the hours of operation are the following:

Sun to Thurs: 10AM to 10PM (staff cleaning and closing the restaurant until 11PM)

- Restaurant Dining: Last seating would be at 9-9:30 PM
- Terrace Dining: Closed at 10PM, last seating at 9-9:30 PM
- Patio and outside special events: Closed by 9PM

Friday, Saturday and the day before Holidays: 10AM to 11PM (staff cleaning and closing the restaurant until 12 Midnight)

- Restaurant Dining: Last seating would be at 10-10:30 PM
  - Terrace Dining: Closed at 11PM, last seating at 10-10:30 PM
  - Patio and outside special events: Closed by 9PM
- 

**Noise**

Liliom Restaurant and the Nagys understand that noise from outdoor events and dining is a concern to residents of RH. There have been a number of steps taken to address these concerns.

First of all, the outside Patio area was created for special events such as wedding ceremonies and has been positioned to be hidden from Ruby Hill by the building itself which also buffers the sound of wedding ceremonies. The intent is to also use the building to mitigate the noise from arriving and departing vehicles at the valet circle.

Furthermore, only acoustic music, with voice accompaniment, e.g. acoustic guitar, piano, or violin, would be played outside during special events such as wedding ceremonies. Such outside functions would also include a string quartet. Outdoor ceremonies on the patio would take place no later than 9PM.

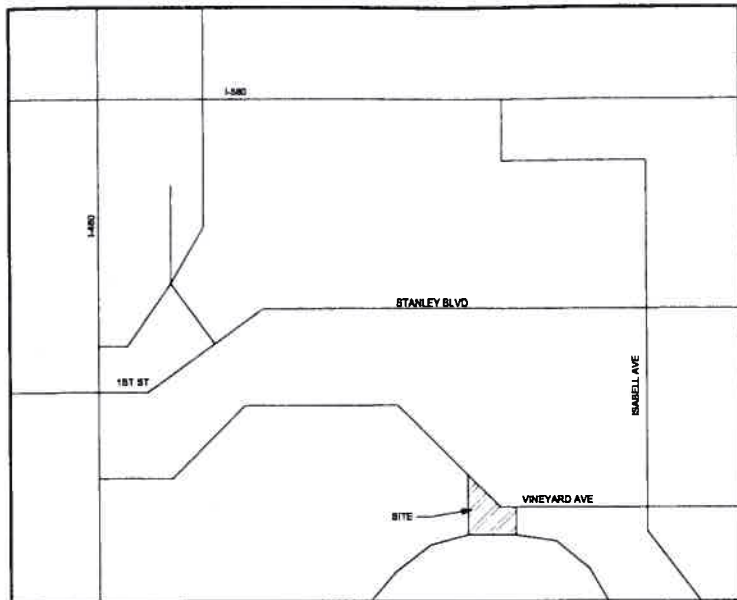
Acoustic and amplified music would be played inside the restaurant for special events. During these event times, windows and doors would remain closed, but not locked. For dining purposes, acoustic instruments such as a piano would be played and windows and doors would be closed, but not locked by 9PM

**Waste Management:**

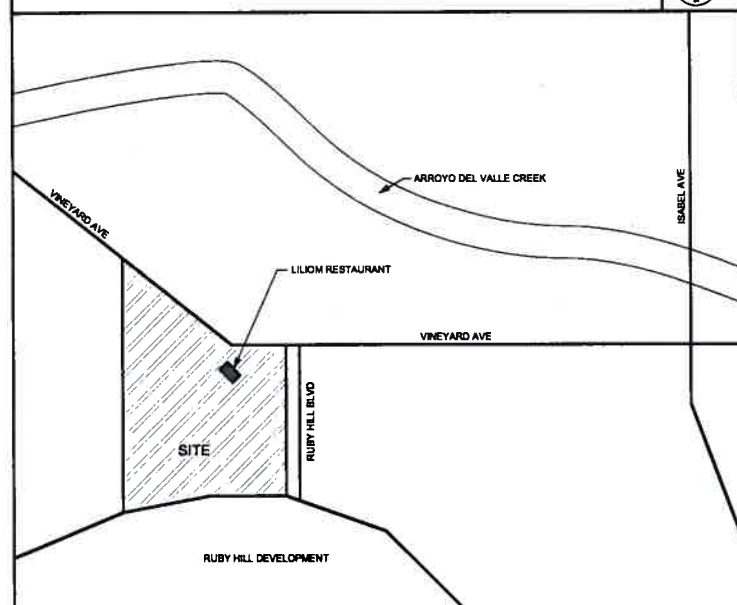
The waste management facility will be at the side of the restaurant screened with dense landscaping from the Ruby Hill Community and the restaurant. The facility will be designed to be architecturally compatible with the existing building.

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LOCATION PLAN



VICINITY PLAN

<p><b>OWNER:</b> BARNABAS NAGY 2001 RUBY HILL ROAD PLEASANTON, CA 94666</p> <p><b>SITE AREA:</b> 36 ACRES</p> <p><b>DEVELOPMENT AREA:</b> 2.5 ACRES</p> <p><b>BUILDING AREA EXISTING:</b> main floor = 41,363 sq. ft. 2nd floor = 28,325 sq. ft. total = 69,688 sq. ft.</p> <p><b>NEW:</b> main floor = 44,669 sq. ft. 2nd floor = 32,445 sq. ft. basement = 6,278 sq. ft. total = 1,7045 sq. ft.</p> <p><b>trans = 357 sq. ft.</b></p> <p><b>USE:</b> FINE DINING RESTAURANT</p> <p><b>PARKING:</b> 100 STALLS 9 HANDICAP (INCLUDED IN TOTAL)</p> <p><b>ZONING:</b> PUD</p> <p><b>OCCUPANCY:</b> A-3 (14571 SQ. FT. +/-) B (2875 SQ. FT. +/-) B-1 (2236 SQ. FT. +/-) CONSTRUCTION TYPE: V-N SPRINKLERED</p> <p><b>TOTAL OCCUPANCY INDOORS PER PLANNING DEPARTMENT RESTRICTION:</b> 180 PATRONS</p> <p><b>TOTAL OCCUPANCY TERRACE PER PLANNING DEPARTMENT RESTRICTION:</b> 80 PATRONS</p>
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DESIGN DATA

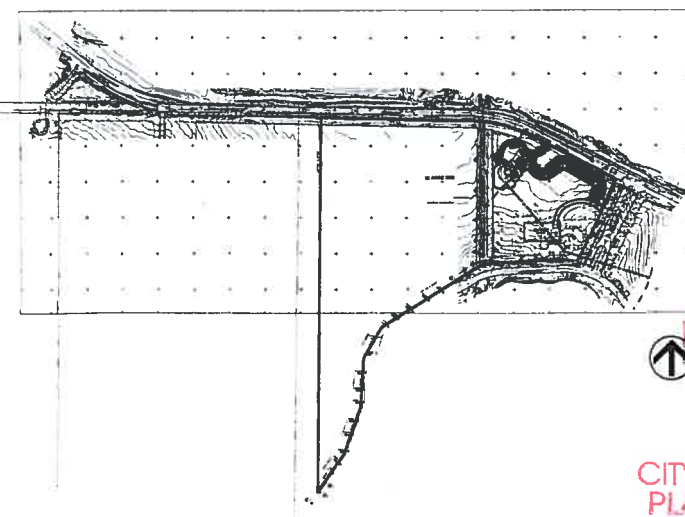
**GENERAL NOTES:**

- GENERAL CONDITIONS:**  
THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF THE CONTRACT AND THE CONTRACT DOCUMENTS.  
THIS DOCUMENT SHALL FORM PART OF THE SPECIFICATIONS SET FORTH HEREIN.
- SAFETY MEASURES:**  
BUILDING WORKED ON AND OTHER PROPERTIES SHALL BE PROTECTED CONTINUOUSLY. OCCUPANTS AND OTHERS SHALL BE PROTECTED FROM ANY INJURY OR HEALTH HAZARD. ALL SAFETY CODES AND ORDINANCES SHALL BE OBSERVED AND ENFORCED.
- CONSTRUCTION CONDUCT:**  
THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK, USING THE CONTRACTOR'S BEST SKILL AND ABILITIES AS WELL AS ATTENTION TO CONSTRUCTION DOCUMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM THE CONSTRUCTION PROVIDE THE MEANS OF CONSTRUCTION METHODS, PROCEDURES, TECHNIQUES AND CO-ORDINATE ALL WORK UNDER THE CONTRACT.
- WORK LOCATION:**  
2000 VINEYARD AVE, PLEASANTON, CA 94666 (AT RUBY HILL)
- CODES:**  
CONTRACTOR SHALL COMPLY WITH ALL LAWS, CODES AND ORDINANCES AND NOT LIMITED TO ITEMS LISTED BELOW.  
SAFETY CODES FOR BUILDING CONSTRUCTION  
CALIFORNIA ADMINISTRATIVE CODE TITLE 8  
NFPA LATEST EDITION  
ANY POLLUTION RESOLUTIONS  
TITLE 24 CALIFORNIA ENERGY CODE 2005  
CBC 2001  
CEC 2004  
CMC 2001  
CFC 2001  
CPC 2001  
AND ALL EQUIVALENT UBC, UMC, UEC, UPC,  
ALL PERTINENT COUNTY ORDINANCES.
- IF THERE IS A CONFLICT BETWEEN CODES, MORE RESTRICTIVE ORDINANCE SHALL PREVAIL. IN CASE OF VARIANCE BETWEEN CODE AND THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT RIGHT AWAY.
- SITE VISITS, INSPECTIONS AND VERIFICATION:**  
SCHEDULING CONSULTANT'S SITE VISITS SHALL BE CO-ORDINATED WITH THE OWNER AND THE CONSULTANT. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS TO INSURE PROPER FIT AND TIE BETWEEN NEW AND EXISTING CONSTRUCTION.
- SUBSTITUTES:**  
NO SUBSTITUTIONS FOR MATERIALS, METHODS, PROCESSES ETC. SPECIFIED OR SHOWN ON PLANS, SHALL BE MADE BY THE CONTRACTOR WITHOUT AUTHORIZATION (IN WRITING) BY THE CONSULTANT. THERE WILL BE ONLY A SEVEN DAY PERIOD ALLOWED FOR THE CONTRACTOR TO SUBMIT NECESSARY DATA SUPPORTING SUBSTITUTION'S MERIT.
- PROTECTION AND PROPERTY CARE:**  
DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL PROPERTY, INCLUDING LANDSCAPE AREAS. IN CASE OF DAMAGE, THE CONTRACTOR SHALL MAKE GOOD OF IT AT NO COST TO OWNER OR CONSULTANTS. IN CASE ANY UNDOCUMENTED CONDITION IS ENCOUNTERED, WHICH MAY INTERRUPT ANY SERVICES, THE WORK IN SUCH AREA SHALL STOP. PROMPT INFORMATION TO THE PROJECT MANAGER IS MANDATORY IN ORDER TO PROCEED FURTHER WITH WORK. ALL COMMUNICATION SHALL BE CONDUCTED IN WRITING. PROTECTION OF ALL SHOWN AND NOT SHOWN ON PLANS UTILITIES SHALL BE MANDATORY.
- CONTRACT DOCUMENTS:**  
CONTRACTOR SHALL BECOME FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. IN CASE OF ANY ERRORS, NOTIFY THE CONSULTANT PRIOR TO BID SUBMITTAL.  
WRITTEN DIMENSIONS GOVERN OVER SCALED DIMENSIONS AND SIZES.  
IT IS THE INTENTION OF THESE DRAWINGS AND SPECIFICATIONS TO INCLUDE ALL ITEMS NECESSARY TO PERFORM THE WORK. HOWEVER NOT EVERY ITEM NECESSARY FOR WORK IS MENTIONED OR SHOWN. ALL SYSTEMS AND EQUIPMENT SHALL BE COMPLETE AND OPERABLE.
- SCHEDULING:**  
THE CONTRACTOR SHALL SUBMIT TO THE OWNER AN ITEMIZED WORK SCHEDULE SEVEN DAYS AFTER THE AWARD OF CONTRACT.
- RETROFIT:**  
DO ALL CUTTING, FITTING AND PATCHING IN ORDER TO COMPLETE THE WORK. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THIS WORK AND MAKE GOOD ANY DAMAGE CAUSED.
- CLEAN UP:**  
CLEARING OF DEMOLITION AREA AND REFUSE EVACUATION SHALL BE PERFORMED ON A DAILY BASIS.  
IF THE OWNER REQUIRES ADDITIONAL CLEAN UP, THE CONTRACTOR SHALL COMPLY.  
THE CONTRACTOR MUST CLEAN UP ALL EXPOSED SURFACES OF ALL DIRT, DUST, GREASE, ETC. CAUSED DURING AND UPON COMPLETION OF THE WORK ON THE PROJECT.
- SUBSTANTIAL COMPLETION:**  
MEANS THAT THE WORK WAS PERFORMED IN ACCORDANCE TO SPECIFICATIONS, DRAWINGS, ANY CHANGE ORDERS AND THE PREMISES ARE READY FOR USE INTENDED.
- CO-ORDINATION OF CONTRACTORS WORK:**  
CO-ORDINATION OF ALL WORK AND SUBCONTRACTORS AND ANY OTHER CONSTRUCTION ACTIVITIES ON THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- INTERRUPTION OF WORK:**  
THE WORK SHALL BE PERFORMED WITHOUT INTERRUPTION TO THE OWNER'S ACTIVITIES IN CASE THE PROJECT IS AN RETROFIT, REMODEL, ADDITION OR TENANT IMPROVEMENT.
- SIGNAGE:**  
NO SIGNAGE OF ANY SORT IS PERMITTED, EXCEPT CONTRACTOR'S LOGO LOCATED AT FRONT YARD OF THE BUILDING SITE.
- DOWN TIME SCHEDULING:**  
CONTRACTOR NEEDS TO CO-ORDINATE WITH THE OWNER DOWN TIME SCHEDULING AT LEAST THREE (3) WEEKS IN ADVANCE FOR THE SERVICES AFFECTED.
- PERMITS:**  
THE CONTRACTOR SHALL PAY FOR THE BUILDING AND TRADE PERMITS AND SECURE REQUIRED SIGN OFFS AND FINAL AUTHORITY HAVING JURISDICTION APPROVALS.
- TESTING:**  
UPON COMPLETION OF WORK THE CONTRACTOR SHALL PERFORM TESTING OF IMPROVEMENTS TO DEMONSTRATE PROPER OPERATION OF THE BUILDING SYSTEMS AND COMPONENTS. IN CASE OF DIFFICULTIES THE WORK OR MATERIAL SHALL BE CORRECTED AT NO COST TO THE OWNER.
- OPERATING DATA:**  
EQUIPMENT MAINTENANCE DATA AND OPERATION MANUALS SHALL BE SUBMITTED TO THE OWNER IN THREE (3) COPIES.
- REMOVAL OF DEBRIS AND REFUSE:**  
THE OWNER TO CO-ORDINATE AND DESIGNATE WHERE THE REFUSE WOULD BE DISPOSED OF.
- PAINTING:**  
PRIOR TO PAINTING WORK, THE CONTRACTOR SHALL VERIFY COLOR SAMPLES WITH THE OWNER.
- FIRE STOPPING:**  
PENETRATIONS THROUGH RATED WALLS AND FLOORS SHALL BE SEALED WITH MATERIALS ABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECT TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIC FOR FIRE STOPS ASTM-8-814.
- ELECTRICAL/LIGHTING:**  
ALL ELECTRICAL/LIGHTING AND HVAC SHALL CONFORM TO TITLE 24 REQUIREMENTS.
- NEW CONSTRUCTION:**  
DO ALL NEW CONSTRUCTION IN ACCORDANCE TO DRAWINGS AND SPECIFICATIONS AND GOOD CONSTRUCTION PRACTICES.

**SYMBOL LEGEND:**

- INTERIOR ELEVATION MARKER
- DETAIL CALLOUT WITH DETAIL NUMBER ON TOP AND SHEET # AT BOTTOM
- SECTION CALLOUT
- MAIN FLOOR LEVEL ELEVATION MARKER
- REVISION MARK
- CONCRETE
- GRAVEL
- GYP BRD
- WATERPROOF MEMBRANE
- DIMENSIONAL LUMBER
- FIBERGLASS BATT INSULATION
- CALLOUT NOTE
- STAIR/RAMP DIRECTION ARROW
- COLUMN
- NORTH ARROW
- WINDOW MARKER
- DOOR MARKER

APPROVED  
PLEASANTON PLANNING COMMISSION  
*[Signature]*  
10-26-2011



1 SITE CONFIGURATION-AREA OF WORK  
Scale: 1:5800

**DRAWING LIST:**

- ARCHITECTURAL PLANS:**
  - A-101 DESIGN DATA
  - A-102 SITE PLAN
  - A-103 EXISTING FLOOR PLANS
  - A-201 ACCESSIBILITY DATA/CEILING DATA
  - A-202 EXISTING FLOOR PLANS
  - A-203 ACCESSIBILITY STANDARDS
  - A-301 MAIN FLOOR PLAN
  - A-302 SECOND FLOOR PLAN
  - A-303 ROOF PLAN
  - A-304 BASEMENT PLAN
  - A-305 MAIN FLOOR CEILING PLAN
  - A-306 2ND FLOOR CEILING PLAN
  - A-307 BASEMENT CEILING PLAN
  - A-308 DECK AND ROOF PLAN
  - A-309 FLOOR AREAS- GARDENS
  - A-401 FRONT AND SIDE ELEVATIONS
  - A-402 REAR AND SIDE ELEVATIONS
  - A-501 SECTIONS
  - A-501 SCHEDULES
  - A-502 STAIR DETAILS
  - A-503 BATHROOM PLANS
  - A-504 ELEVATOR DATA
  - A-505 CEILING AND WALL BRACING DETAILS
  - A-506 ASSEMBLY FIRE RATING 1
  - A-507 ASSEMBLY FIRE RATING 2
  - A-508 ASSEMBLY FIRE RATING 3
  - A-701 DETAILS 1
  - A-702 DETAILS 2
  - A-703 DETAILS 3
  - A-704 RAMPS AND DECK STAIRS
  - A-801 HANDRAILS
  - A-802 FOUNTAIN AND BALUSTERS
  - A-803 GARDEN WALLS
  - A-804 SIGNAGE
  - A-805 GATE DESIGN
  - A-801 DECK AREAS
  - A-802 MAIN FLOOR AREAS
  - A-803 2ND FLOOR AREAS
  - A-804 BASEMENT AREAS
  - A-805 NOT USED
  - A-806 CBC 2001 ACCESSIBILITY DIAGRAMS
  - A-807 CBC 2001 ACCESSIBILITY DIAGRAMS
  - A-808 CBC 2001 ACCESSIBILITY DIAGRAMS
  - A-809 CBC 2001 ELEVATOR ACCESSIBILITY AND FIRE DEPT NOTES
- CIVIL ENGINEERING PLANS:**
  - 1 TITLE SHEET
  - 2 NOTES
  - 3 DETAILS AND TYPICAL SECTION
  - 4 PLAN AND PROFILE
  - 5 PLAN AND PROFILE
  - 6 PLAN AND PROFILE
- STRUCTURAL PLANS:**
  - S-1 FOUNDATION PLAN
  - S-2 LOWER FLOOR FRAMING PLAN
  - S-3 FIRST FLOOR FRAMING PLAN
  - S-4 ROOF PLAN
  - S-5 STRUCTURAL DETAILS
  - S-6 STRUCTURAL DETAILS
  - S-7 STRUCTURAL DETAILS
- MECHANICAL/ELECTRICAL/PLUMBING PLANS:**
  - M 1.0 GENERAL NOTES, SYMBOL LEGENDS
  - M 2.0 HVAC PLAN BASEMENT
  - M 2.1 HVAC PLAN FIRST FLOOR
  - M 2.2 HVAC PLAN 2ND FLOOR
  - M 2.3 HVAC ROOF PLAN
  - M 3.0 MECHANICAL DETAILS
  - M 3.1 MECHANICAL CONTROLS
  - E 1.0 GENERAL NOTES SINGLE LINE DIAGRAMS
  - E 1.1 ELECTRICAL SITE PLAN
  - E 1.2 PHOTOMETRIC ANALYSIS
  - E 1.3 SINGLE LINE DIAGRAM FEEDER SCHEDULE AND MAIN SWITCH BRD
  - E 2.1 ELECTRICAL LIGHTING PLAN 1ST FLOOR PLAN
  - E 2.2 ELECTRICAL LIGHTING PLAN SECOND FLOOR PLAN
  - E 2.3 ELECTRICAL LIGHTING PLAN BASEMENT
  - E 3.1 ELECTRICAL POWER PLAN FIRST FLOOR
  - E 3.2 ELECTRICAL POWER PLAN 2ND FLOOR
  - E 3.3 ELECTRICAL POWER PLAN BASEMENT
  - E 4.0 ELECTRICAL PANEL SCHEDULE
  - E 4.1 ELECTRICAL DETAILS
  - P 1.0 PLUMBING GENERAL NOTES
  - P 1.1 PLUMBING SITE PLAN
  - P 1.2 PLUMBING FLOOR PLAN BASEMENT
  - P 2.1 PLUMBING FLOOR PLAN FIRST AND SECOND FLOOR
  - P 2.2 PLUMBING PLAN BASEMENT KITCHEN AREA
  - P 2.3 PLUMBING PLAN BASEMENT RESTROOM AREA
  - P 2.4 PLUMBING FLOOR PLAN KITCHEN AREA FIRST FLOOR
  - P 2.5 PLUMBING FLOOR PLAN SERVICE & TOILETS AREAS 2ND FLOOR
  - P 3.0 PLUMBING DETAILS
  - T24-1 TITLE 24 PART ONE
  - T24-2 TITLE 24 PART TWO
- LANDSCAPE PLANS:**
  - L 1.0 SITE PLAN
  - L 2.0 PLANTING PLAN
  - L 3.0 PLANTING PLAN
  - L 4.0 PLANTING NOTES AND SCHEDULE
  - L 5.0 IRRIGATION SITE PLAN
  - L 6.0 IRRIGATION PLAN
  - L 7.0 IRRIGATION PLAN
  - L 8.0 IRRIGATION DETAILS
  - L 9.0 IRRIGATION SPECIFICATIONS
- KITCHEN EQUIPMENT PLANS:**
  - K-1 GROUND FLOOR PLAN
  - K-1A BASEMENT FLOOR
  - K-1B SECOND FLOOR PLAN
  - K-2 GROUND FLOOR ELECTRICAL PLAN
  - K-2A BASEMENT ELECTRICAL PLAN
  - K-2B SECOND FLOOR ELECTRICAL PLAN
  - K-3 GROUND FLOOR PLUMBING PLAN
  - K-3A BASEMENT PLUMBING PLAN
  - K-3B SECOND FLOOR PLUMBING PLAN
  - K-4 GROUND FLOOR HOOD DETAILS
  - K-4A BASEMENT HOOD DETAILS
  - K-4B BASEMENT HOOD DETAILS

CITY PLANNING DEPARTMENT STAMP:

RECEIVED  
OCT 04 2011  
CITY OF PLEASANTON PLANNING DIVISION  
EXHIBIT B

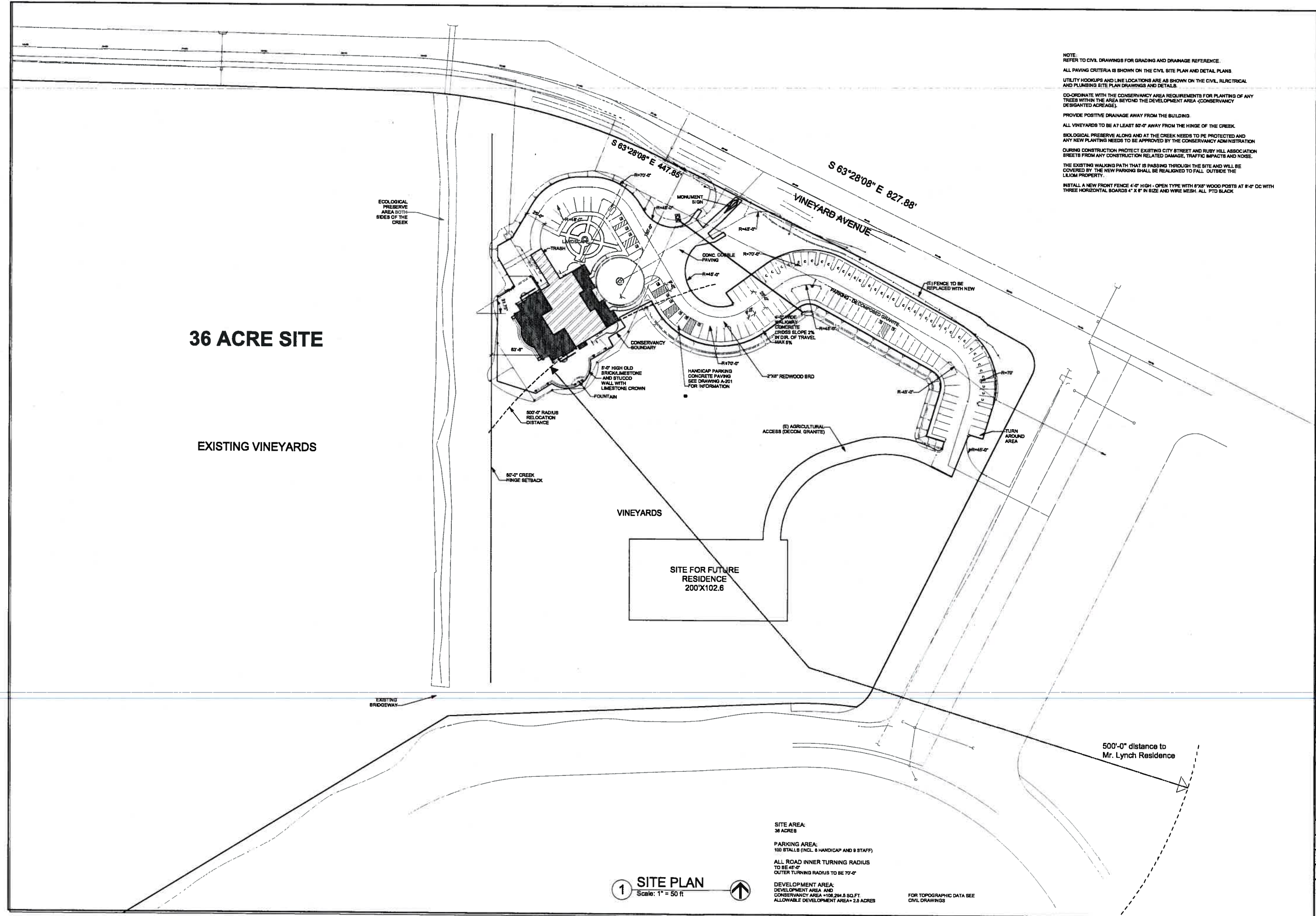
CITY BUILDING DEPARTMENT STAMP:

CON APPLICATION #CPC 202941

CITY	5-1-08	MS
CITY	3-6-08	MS
<p>MARK STOKLOSA ARCHITECT INC</p> <p>440 SAINT JOHN STREET SUITE 220 PLEASANTON, CA 94666 925 484 2844 925 484 9917</p>		
<p>LILIOM FINE DINING CUISINE RESTAURANT AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON FOR BARNABAS NAGY</p>		
DATE	10-12-07	
SCALE		
DRAWN BY	MS	
PROJECT #	07-017	
DRAWING #	A-101	

**36 ACRE SITE**

EXISTING VINEYARDS



NOTE:  
REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE REFERENCE.  
ALL PAVING CRITERIA IS SHOWN ON THE CIVIL SITE PLAN AND DETAIL PLANS  
UTILITY HOOKUPS AND LINE LOCATIONS ARE AS SHOWN ON THE CIVIL, ELECTRICAL AND PLUMBING SITE PLAN DRAWINGS AND DETAILS.  
COORDINATE WITH THE CONSERVANCY AREA REQUIREMENTS FOR PLANTING OF ANY TREES WITHIN THE AREA BEYOND THE DEVELOPMENT AREA (CONSERVANCY AREA).  
PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.  
ALL VINEYARDS TO BE AT LEAST 80'-0" AWAY FROM THE HINGE OF THE CREEK.  
BIOLOGICAL PRESERVE ALONG AND AT THE CREEK NEEDS TO BE PROTECTED AND ANY NEW PLANTING NEEDS TO BE APPROVED BY THE CONSERVANCY ADMINISTRATION.  
DURING CONSTRUCTION PROTECT EXISTING CITY STREET AND RUBY HILL ASSOCIATION STREETS FROM ANY CONSTRUCTION RELATED DAMAGE, TRAFFIC IMPACTS AND NOISE.  
THE EXISTING WALKING PATH THAT IS PASSING THROUGH THE SITE AND WILL BE COVERED BY THE NEW PARKING SHALL BE REALIGNED TO FALL OUTSIDE THE LILJOM PROPERTY.  
INSTALL A NEW FRONT FENCE 4'-0" HIGH - OPEN TYPE WITH 8"x8" WOOD POSTS AT 8'-0" OC WITH THREE HORIZONTAL BOARDS 4" X 8" IN SIZE AND WIRE MESH ALL PTD BLACK.

2	CITY 5-1-08	MS
1	CITY 3-4-08	MS

**MARK STOKLOSA ARCHITECT INC**

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94566  
925 484 2094  
925 484 9617

**LILJOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY**

SITE PLAN

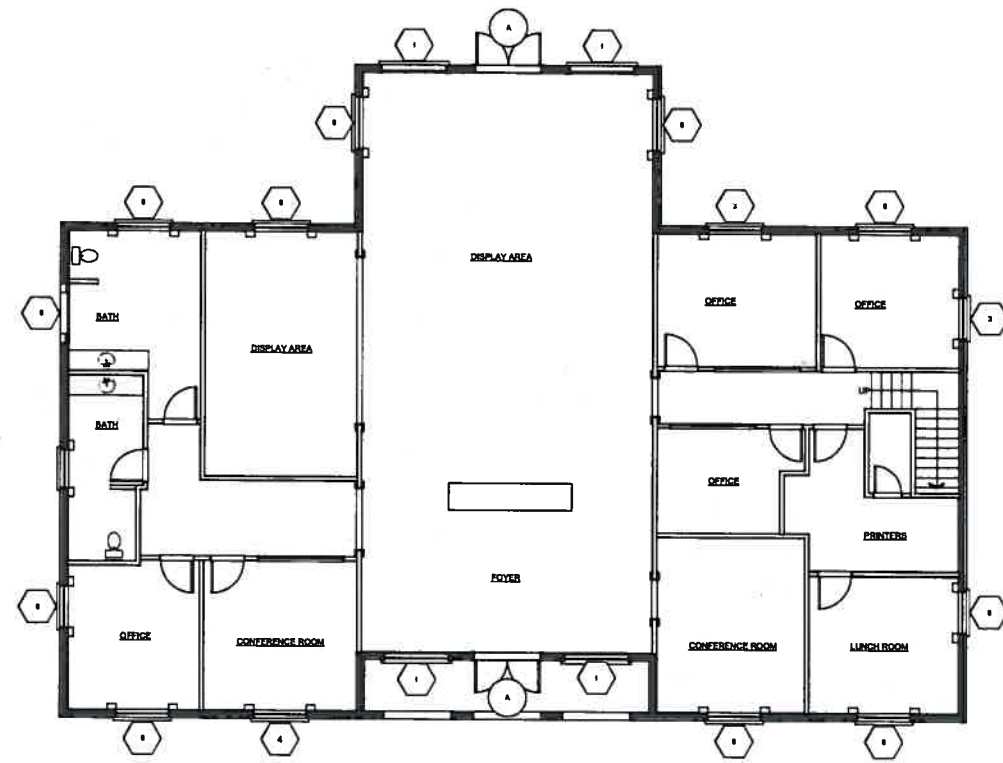
DATE:	10-12-07
SCALE:	
DRAWN BY:	MS
PROJECT #	07-017
DRAWING #	

**A-102**

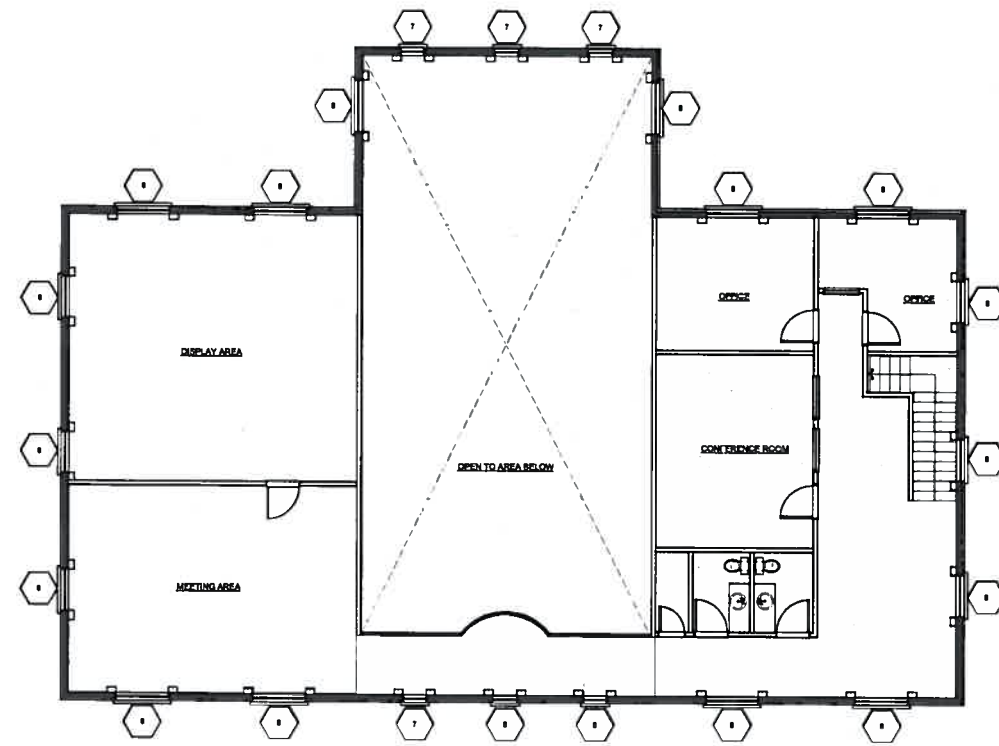
**1 SITE PLAN**  
Scale: 1" = 50 ft

SITE AREA:  
36 ACRES  
PARKING AREA:  
100 STALLS (INCL. 8 HANDICAP AND 9 STAFF)  
ALL ROAD INNER TURNING RADIUS  
TO BE 45'-0"  
OUTER TURNING RADIUS TO BE 70'-0"  
DEVELOPMENT AREA:  
DEVELOPMENT AREA AND  
CONSERVANCY AREA = 108,294.5 SQ.FT.  
ALLOWABLE DEVELOPMENT AREA = 2.5 ACRES

FOR TOPOGRAPHIC DATA SEE  
CIVIL DRAWINGS



1 (E) MAIN FLOOR PLAN  
 Scale: 1/8" = 1'-0" 4119 SQ.FT.



2 (E) 2 ND FLOOR PLAN  
 Scale: 1/8" = 1'-0"

2	CITY	MS
	8-1-08	
	CITY	MS
	8-2-08	

MARK  
 STOKLOSA  
 ARCHITECT  
 INC

480 SAINT JOHN STREET  
 SUITE 220  
 PLEASANTON, CA 94588  
 925 484 2884  
 925 484 9617

LILJOM FINE DINING CUISINE RESTAURANT  
 AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
 FOR BARNABAS NAGY

EXISTING FLOOR PLANS

DATE	10-12-07
SCALE	
DRAWN BY	MS
PROJECT #	07-017
DRAWING #	

A-202

2	CITY 8-1-08	MS
1	CITY 3-0-08	MS

**MARK STOKLOSA ARCHITECT INC**

450 BART JOHN STREET  
SUITE 220  
PLEASANTON, CA 94588  
925 484 2884  
925 484 9817







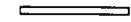

LILLOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY

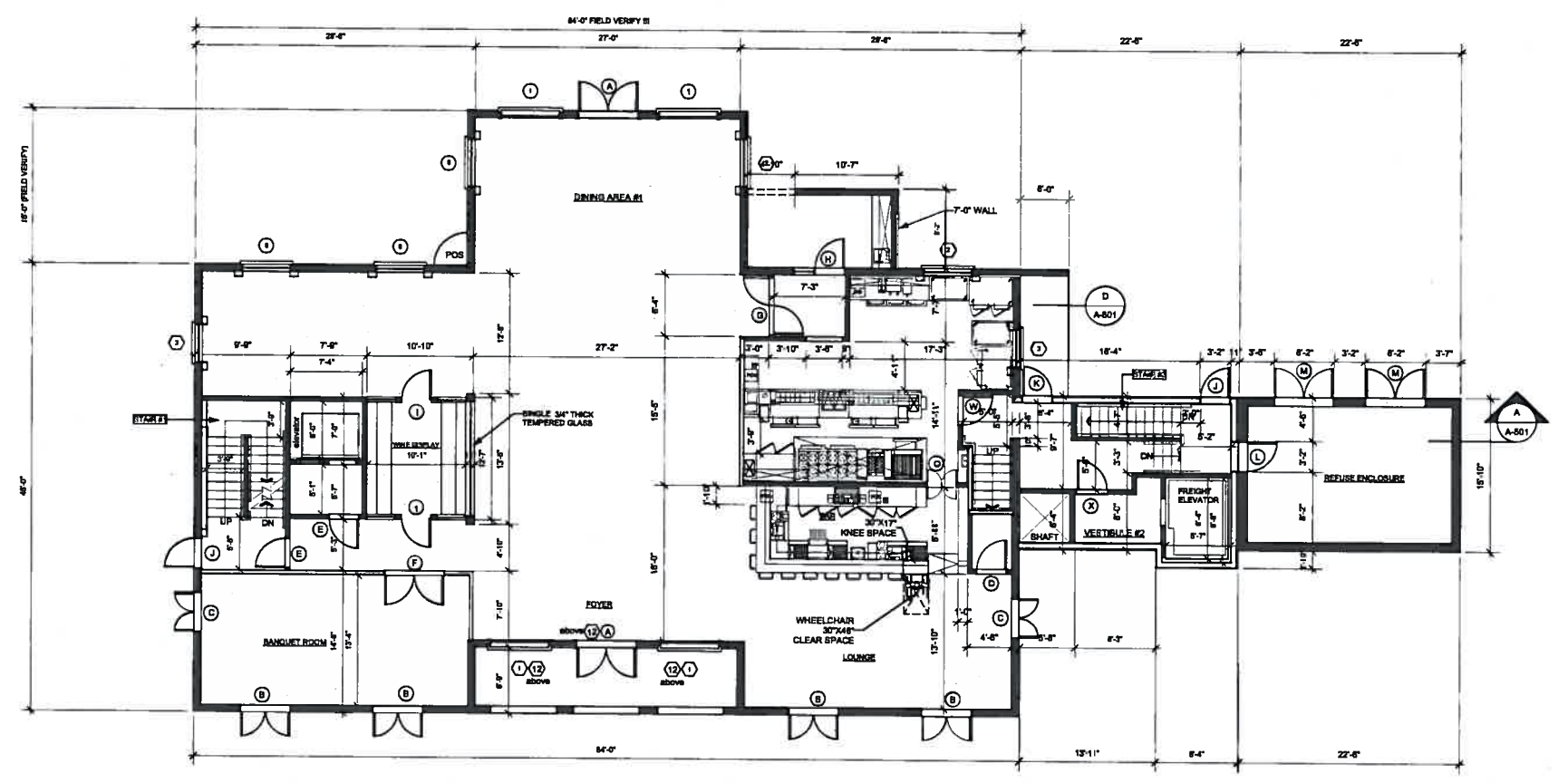
NEW MAIN FLOOR

DATE:	10-12-07
SCALE:	1/8" = 1'-0"
DRAWN BY:	MS
PROJECT #	07-017
DRAWING #	

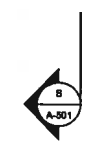
**A-301**

**LEGEND**

-  EXISTING INTERIOR WALL  
5/8" GYP. BRD. TYPE-X  
2"x4" WOOD STUDS AT 16" OC  
5/8" GYP. BRD. TYPE-X
-  EXISTING EXTERIOR WALL:  
STUCCO  
BUILDING PAPER  
3/8" PLYWOOD  
2"x6" WOOD STUDS AT 16" OC  
R-23 INSULATION  
5/8" GYP. BRD. TYPE-X  
(FIELD VERIFY WALL COMPONENTS)
-  12" CONCRETE WALL
-  NEW INTERIOR WALL:  
5/8" GYPSUM BOARD TYPE-X  
3/8" METAL STUDS AT 16" OC  
R-11 INSULATION  
5/8" GYP. BRD. TYPE-X
-  NEW TOSCAN COLUMN:  
12" DIAMETER, COMPOSITE  
MATERIAL WITH FIBERGLASS  
PROVIDE SHOP DRAWINGS FOR THE  
COLUMNS, PAINTED WHITE.  
TWO PIECE CONFIGURATION  
FILL IN JOINT TO ACHIEVE SMOOTH  
COLUMN FACE.
-  WROUGHT IRON, HANDRAIL, 3'-0" HIGH  
WITH 1 1/2" DIA BALLUSTERS AT 4' OC  
HANDRAIL TO BE 2" DIA WROUGHT IRON,  
GUARDRAIL TO BE PAINTED.
-  3'-0" HIGH WALL, WITH WOOD CAP  
5/8" GYP. BRD. TYPE-X EACH SIDE OF  
2"x4" WOOD STUDS AT 16" OC
-  12" X 12" COLUMN (8" X 8" WOOD POST CLAD IN TWO 5/8"  
GYPSUM BOARD TYPE-X)



**1 MAIN FLOOR PLAN**  
Scale: 1/8" = 1'-0"



2	CITY	MS
1	CITY	MS

**MARK STOKLOSA ARCHITECT INC**

480 BART JOHN STREET  
SUITE 220  
PLEASANTON, CA 94566  
925 484 2984  
925 484 9617

**LILJOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY**

NEW 2ND FLOOR PLAN

DATE	10-12-07
SCALE	1/8"=1'-0"
DRAWN BY	MS
PROJECT #	07-017
DRAWING #	

**A-302**

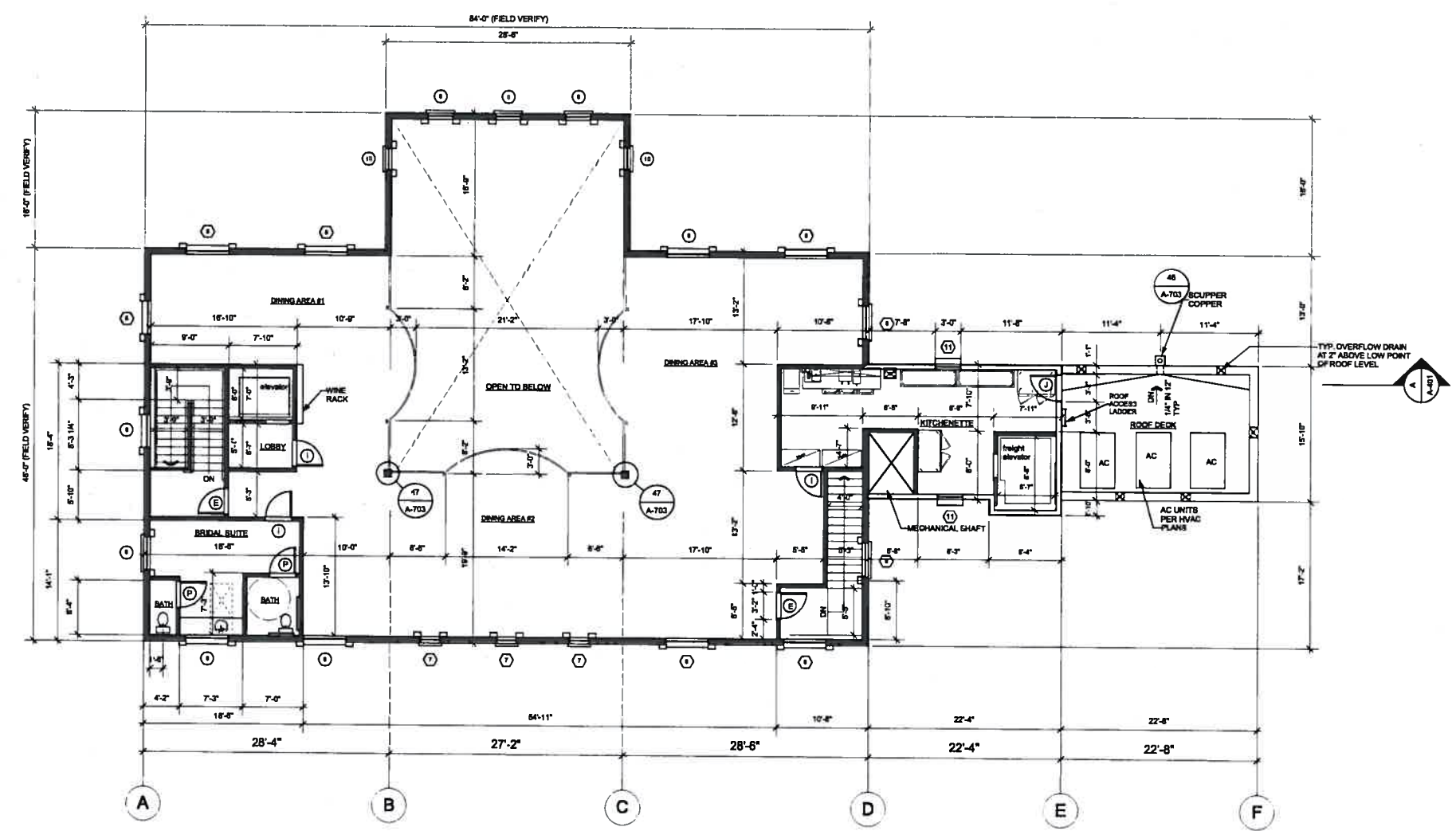
- LEGEND:**
- EXISTING INTERIOR WALL:  
5/8" GYP BRD TYPE-X  
2"x4" WOOD STUDS AT 16" OC  
5/8" GYP BRD TYPE-X
  - EXISTING EXTERIOR WALL:  
STUCCO  
BUILDING PAPER  
3/8" PLYWOOD  
2"x6" WOOD STUDS AT 16" OC  
R-23 INSULATION  
5/8" GYP BRD TYPE-X  
(FIELD VERIFY WALL COMPONENTS)
  - 12" CONCRETE WALL
  - NEW INTERIOR WALL:  
5/8" GYPSUM BOARD TYPE-X  
3/8" METAL STUDS AT 16" OC  
R-11 INSULATION  
5/8" GYP BRD TYPE-X
  - NEW 17" X 17" COLUMN PAINTED WHITE  
8" X 8" WOOD POST CLAD IN (2) - 5/8" GYPSUM BOARD TYPE-X
  - WROUGHT IRON HANDRAIL 3'-6" HIGH  
WITH 1/2" DIA BALLUSTERS AT 4" OC  
HANDRAIL TO BE 2" DIA WOOD VARNISHED  
GUARDRAIL TO BE PAINTED BLACK.
  - 3'-0" HIGH WALL WITH WOOD CAP  
5/8" GYP BRD TYPE-X EACH SIDE OF  
2"x4" WOOD STUDS AT 16" OC

**NOTES:**

INSTALL ROOF SCUPPER IN ACCORDANCE TO THE REQUIREMENTS OF THE PLUMBING CODE.  
OVERFLOW DRAINS TO BE INSTALLED AND DISCHARGED PER CBC 1908.

VERIFY ALL ON SITE EXISTING BUILDING CONDITIONS TO INSURE PROPER FIT AND  
TIE BETWEEN EXISTING AND NEW CONSTRUCTION

FOR BATHROOMS SEE SHEET A-304



**2 2ND FLOOR PLAN**  
Scale: 1/8" = 1'-0"  
3740 SQ.FT.



**ROOF VENTING:**

FIELD VERIFY POSITIVE ROOF VENTING EXISTS ON THE EXISTING ROOF.

ROOF VENTS TO BE AT EAVES (CONTINUOUS) AND ON SLOPED ROOF CLOSE TO RIDGE EVENLY DISTRIBUTED AS MIN. 12" X 12" IN SIZE.

ROOF VENT AREA TO BE 1/150 OF THE ROOF AREA.

ROOF VENTING AT FLAT ROOF WITH RIGID INSULATION IS NOT REQUIRED, PROVIDING THE INSULATION IS SNUG TO ROOF SHEATHING AND RAFTERS (NO AIR GAPS)

INSTALL INSECT SCREENS TO ALL ROOF VENTS. ROOF VENTS SHALL NOT LEAK. PAINT VENTS TO MATCH ADJACENT SURFACES.

**ROOF INSULATION:**

VERIFY IN FIELD EXISTING INSULATION. ROOF INSULATION TO BE R-38 FIBERGLASS BATS, INSTALLED IN TRUSS SPACE. IN NEW ROOF AREAS, INSTALL INSULATION SIMILAR TO MAIN ROOF. INSULATION TO BE PLACED AT BOTTOM CHORDS OF TRUSSES AND/OR BOTTOM OF RAFTERS. MAKE SURE TO MAINTAIN AN AIR SPACE ABOVE INSULATION FOR VENTING.

AT FLAT ROOFS INSTALL RIDGID INSULATION FILLING UP ENTIRE RAFTER SPACE. THE RIDGID INSULATION SHALL BE SNUG TO ROOF PLYWOOD SHEATHING. INSULATION TO BE R-38.

PROTECT INSULATION FROM WATER.

**ROOF COVERING:**

ALL NEW SLOPED ROOF TILE TO MATCH EXISTING ROOF TILE. THE FLAT ROOF ROOF COVERING TO BE A SINGLE MEMBRANE ROOFING MEMBRANE, CLASS-A INSTALLED PER MANUFACTURER'S SPECIFICATIONS. AS AN ALTERNATE USE SBS MODIFIED BITUMEN ROOF MEMBRANE CLASS-A INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

**GUTTERS:**

ALL GUTTERS TO BE METAL 6" DIAMETER, PAINTED BLAC. GUTTERS TO DISCHARGE WATER TO METAL DOWNSPOUTS AND THROUGH SPASH PADS ONTO THE NATURAL GRADE. DOWNSPOUTS TO BE PAINTED TO MATCH EXTERIOR WALL.

**ROOF FASCIAS:**

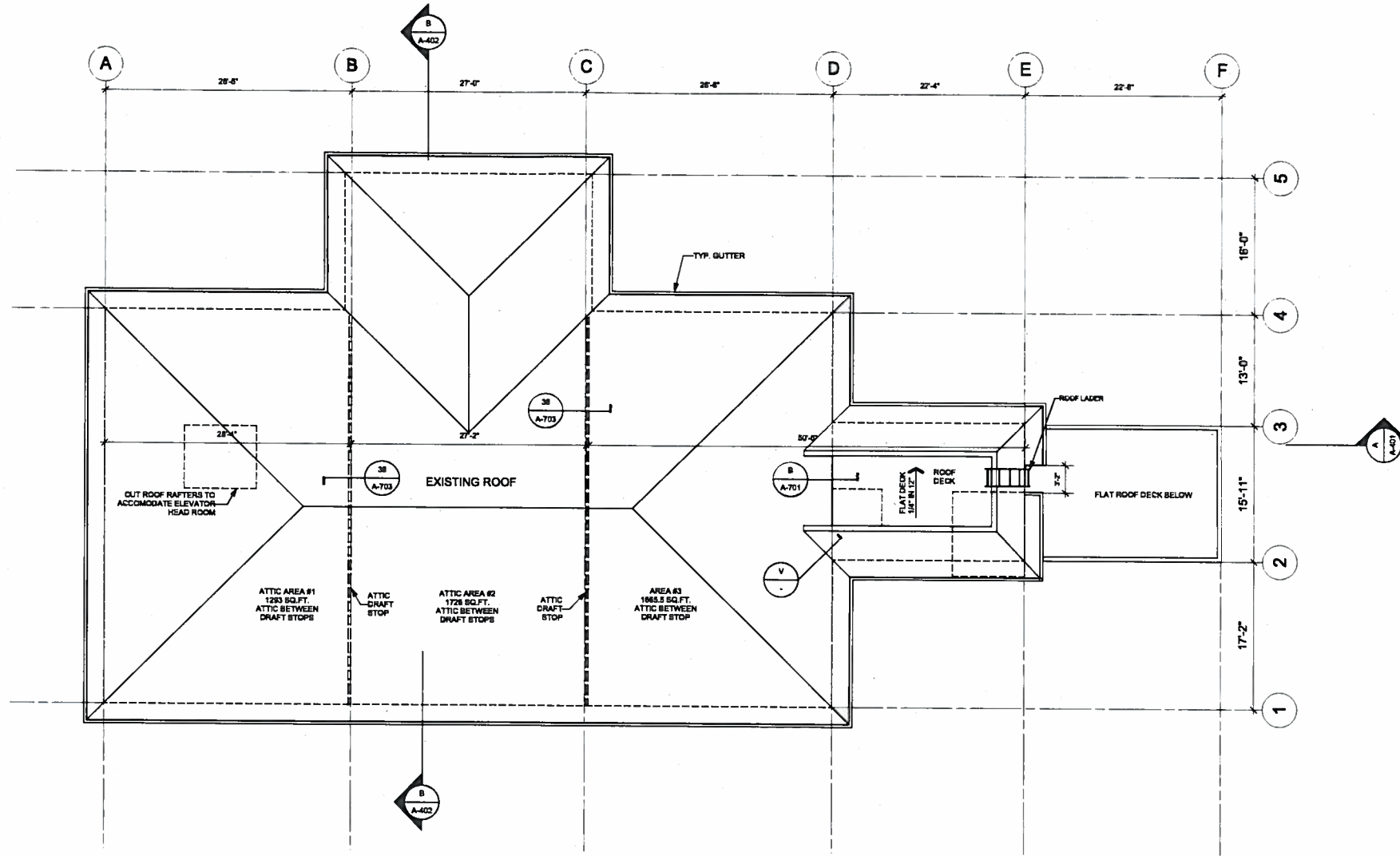
FIELD VERIFY CONDITION OF EXISTING FASCIAS. REPLACE WHERE DAMAGED WITH SIMILAR SIZE AND MATERIAL WITH FINISH MATCHING EXISTING. PAINT FASCIAS BLACK (E) AND (N). NEW FASCIAS TO MATCH EXISTING SHAPE AND STYLE. USE CEDAR OR REDWOOD FOR FASCIA MATERIAL- FINISH GRADE.

**DRAFT STOP:**

DRAFT STOPS TO BE INSTALLED IN THE ATTIC SPACE AS SHOWN ON PLAN. THE DISTANCE TO DRAFT STOP TO BE NOT MORE THAN 60"-0" DRAFT STOP TO BE 1/2" PLYWOOD ATTACHED TO THE SIDES OF EXISTING TRUSSES.

ANY PENETRATIONS THROUGH THE DRAFT STOP TO BE VIA SELF CLOSING DOOR WITH THE LATCH.

ANY DUCT PENETRATIONS THRU DRAFT STOP TO HAVE FIRE AND SMOKE DAMPERS.



3 ROOF PLAN  
Scale: 1/8" = 1'-0"

2	CITY	MS
1	CITY	MS

MARK STOKLOSA ARCHITECT INC

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94588  
925 484 2884  
925 484 9817

LILLOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY

ROOF PLAN

DATE: 10-12-07

SCALE: 1/8"=1'-0"




DRAWN BY: MS

PROJECT # 07-017

DRAWING #

A-303

**LEGEND**

- 
**5/8" GYPSUM BOARD TYPE-X**  
**3/4" WOOD STUDS AT 16" OC**  
**5/8" GYPSUM BOARD TYPE-X**
- 
**12" CONCRETE RETAINING / BASEMENT WALL**  
**SMOOTH FINISH INSIDE**  
**ON OUTSIDE INSTALL WATERPROOF MEMBRANE**  
**1/8" PROTECTION BOARD AND 12" GRAVEL TRENCH**  
**AT BOTTOM OF THE FOUNDATION INSTALL 4" DIA**  
**PERFORATED PVC DRAIN LINE IN DRAIN FABRIC**
- 
**12" CONCRETE RETAINING/BASEMENT WALL**  
**ON INSIDE INSTALL 1 5/8" MTL STUDS AT 16" OC**  
**AND 5/8" GYPSUM BOARD TYPE-X**  
**ON OUTSIDE INSTALL WATERPROOF MEMBRANE**  
**1/8" PROTECTION BOARD AND 12" GRAVEL TRENCH**  
**AT BOT. OF WALL FOUNDATION INSTALL 4" DIA**  
**PERFORATED PVC DRAIN LINE IN DRAIN FABRIC**

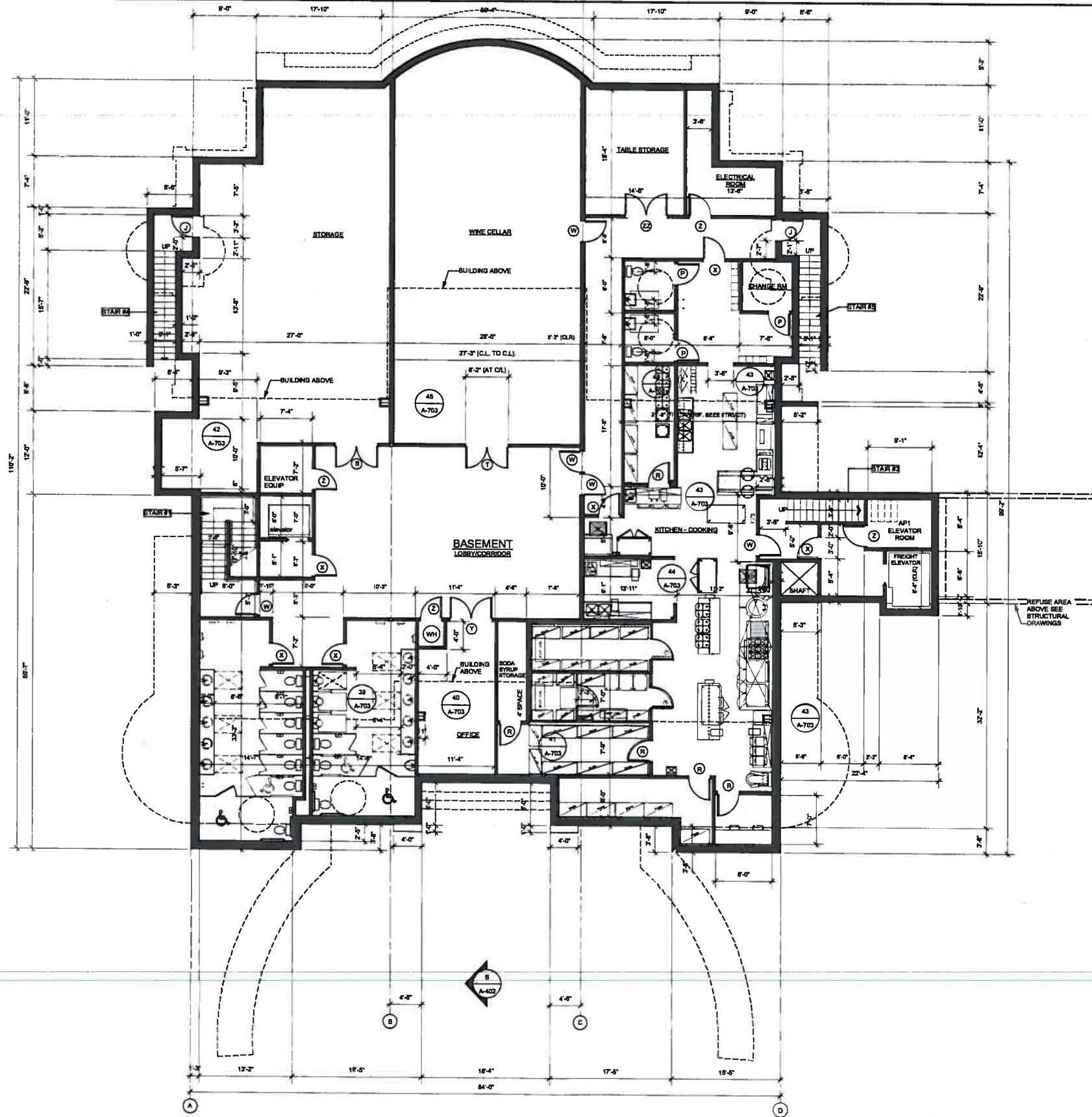
**NOTE:**  
 FOUNDATION DRAIN LINES TO BE DESIGNED AND  
 DISCHARGED PER CIVIL DRAWINGS PREPARED  
 BY THE CIVIL ENGINEER

CO-ORDINATE WITH KITCHEN EQUIPMENT AND  
 PLUMBING DRAWINGS LOCATION OF ALL  
 FLOOR DRAINS AND FLOOR SINKS AND PROVIDE  
 REQUIRED FLOOR SURFACE SLOPE  
 (1/4" IN 12") TO THESE DRAINS

IN THE ELEVATOR PIT PROVIDE DRAIN WITH  
 BACK FLOW PREVENTER AND EJECTION PUMP

LUMBER IN CONTACT WITH CONCRETE TO BE  
 PRESSURE TREATED WOOD

FOR BATHROOMS SEE A-804



**1 BASEMENT PLAN**  
 Scale: 1/8" = 1'-0"

**BASEMENT AREA:**

1. STORAGE
2. KITCHEN AUXILIARY FUNCTIONS
3. OFFICE FOR THE RESTAURANT
4. WINE CELLAR
5. BATHROOMS

2	CITY	MS
1	CITY	MS

**MARK STOKLOSA ARCHITECT INC**

480 SAINT JOHN STREET  
 SUITE 220  
 PLEASANTON, CA 94566  
 925 484 2884  
 925 484 8817

**LILJOM FINE DINING CUISINE RESTAURANT**  
**AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON**  
**FOR BARNABAS NAGY**

BASEMENT PLAN

DATE: 10-12-07

SCALE:

DRAWN BY: MS

PROJECT # 07-017

DRAWING #

**A-304**



3 LEFT SIDE ELEVATION  
Scale: 1/8" = 1'-0"



4 REAR ELEVATION  
Scale: 1/8" = 1'-0"

2	CITY 8-1-05	MS
	CITY 3-05	MS

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94588  
925 454 2884  
925 454 9817

LILJOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY

ELEVATIONS-REAR AND  
SIDE

DATE: 10-12-07

SCALE: 1/8"=1'-0"

DRAWN BY: MS

PROJECT #: 07-017

DRAWING #

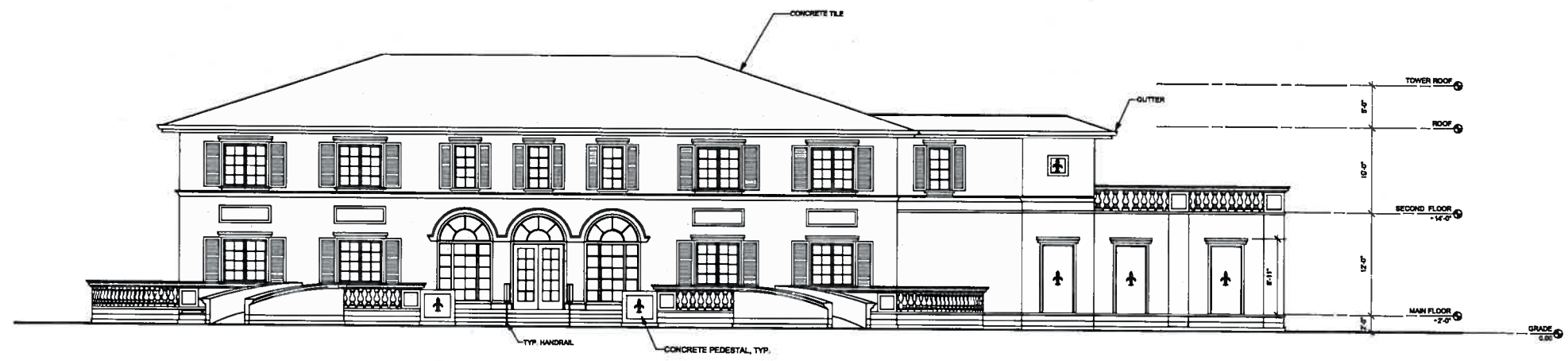
A-401

2	CITY	MS
1	CITY	MS

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94588  
925 484 2884  
925 484 9817

LILJOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY



1 FRONT ELEVATION  
Scale: 1/8" = 1'-0"

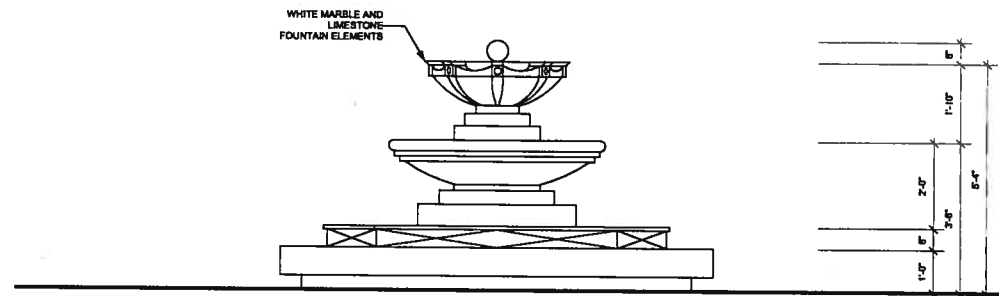
**EXTERIOR FINISHES:**  
**ROOF:**  
 NEW CONCRETE TILES TO MATCH EXISTING  
**WALL:**  
 STUCCO TO MATCH EXISTING  
**FASCIA AND TRIM:**  
 NEW TO MATCH EXISTING  
**GUTTERS AND DOWNSPOUTS:**  
 ALL NEW TO REPLACE EXISTING, WITH COPPER  
 6" DIA.  
**BALLUSTERS:**  
 LIMESTONE PREFABRICATED  
**DECK SURFACE:**  
 LIMESTONE  
**WINDOWS AND DOORS:**  
 NEW TO MATCH EXISTING  
**SHUTTERS:**  
 NEW TO MATCH EXISTING, PAINT BLACK



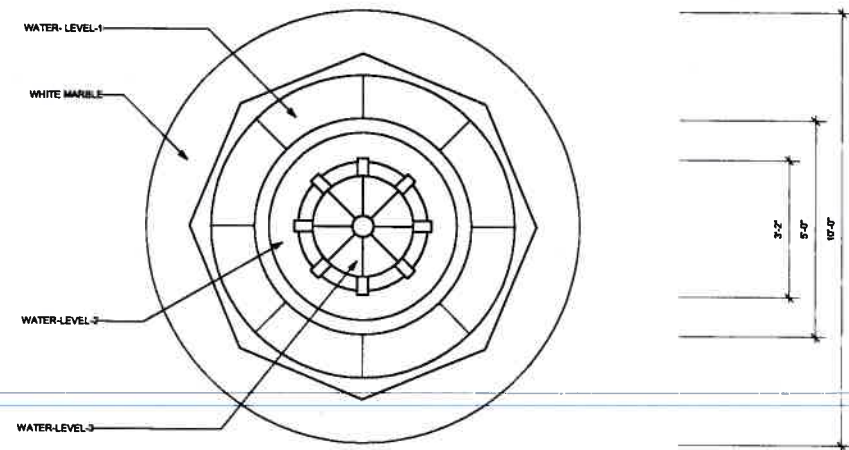
2 RIGHT SIDE ELEVATION  
Scale: 1/8" = 1'-0"

FRONT AND SIDE  
ELEVATIONS

DATE:	10-12-07
SCALE:	1/8"=1'-0"
DRAWN BY:	MS
PROJECT #	07-017
DRAWING #	A-402

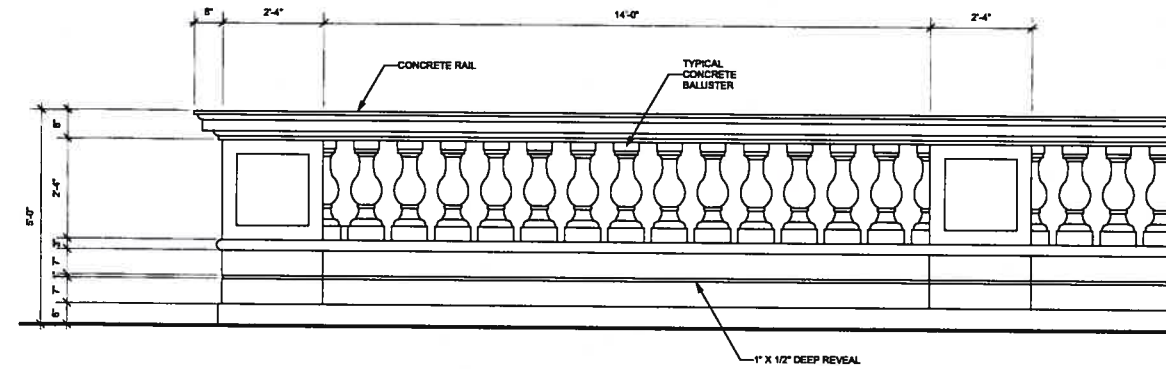


1 ELEVATION  
Scale: 1/2" = 1'-0"

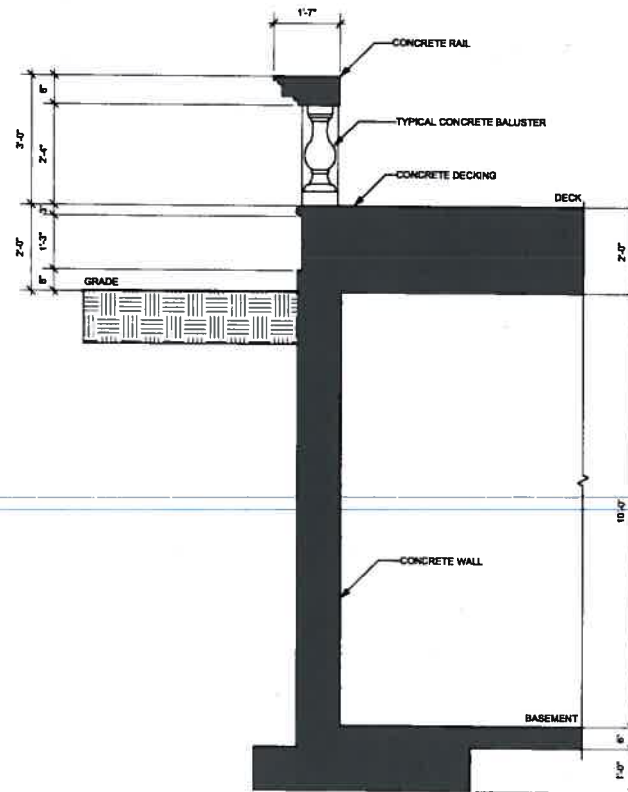


2 PLAN  
Scale: 1/2" = 1'-0"

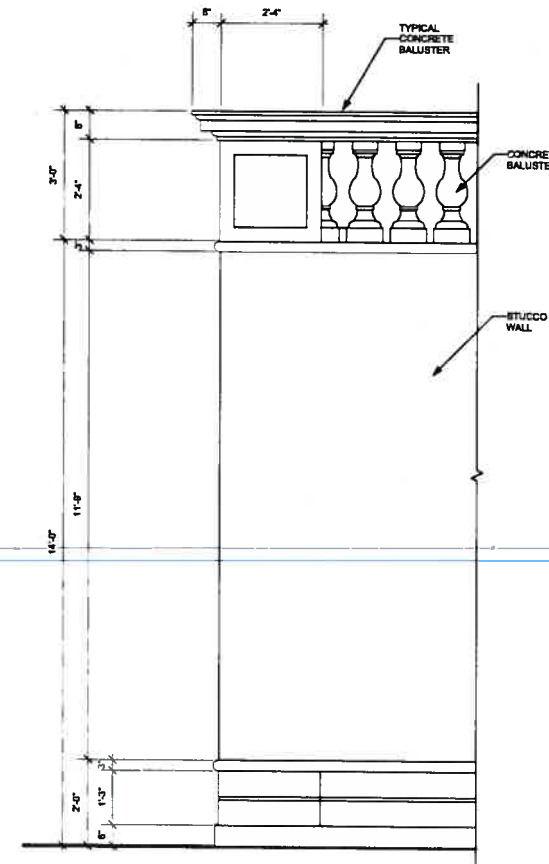
NOTE  
 FOUNTAIN TO BE MANUFACTURED ITEM. PROVIDE SHOP DRAWINGS FOR THE OWNER AND ARCHITECT REVIEW.  
 ALL TECHNICAL DATA NEEDS TO BE FORWARDED TO THE MECHANICAL ENGINEER  
 TO ALLOW FOR APPROPRIATE HOOKUPS TO POWER AND WATER SOURCES.  
 FOUNTAIN SHALL BE CLAD IN LIMESTONE AND SHALL HAVE THE LING TO PREVENT WATER LEAKAGE TO OUTSIDE.  
 MOTOR TO CONSERVE ENERGY AND WATER IN THE FOUNTAIN ASSEMBLY.



1 DECK RAILING ELEVATION  
Scale: 1/2" = 1'-0"



2 DECK RAILING  
Scale: 1/2" = 1'-0"



1 ROOF DECK RAILING  
Scale: 1/2" = 1'-0"

2	CITY	MS
3-8-08		

MARK  
STOKLOSA  
ARCHITECT  
INC

480 BANT JOHN STREET  
SUITE 200  
PLEASANTON, CA 94588  
925 484 2884  
925 484 9817

LILJOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY

FOUNTAIN AND DECK  
BALUSTERS

DATE 10-12-07

SCALE

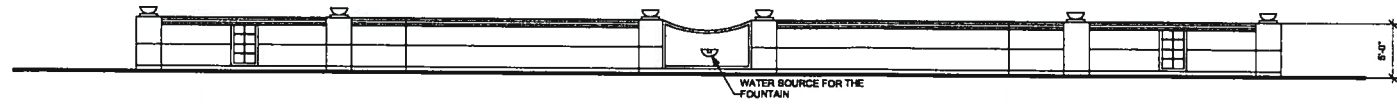
DRAWN BY MS

PROJECT # 07-017

DRAWING #

A-802

EAST WALL - SEE SHEET A-308



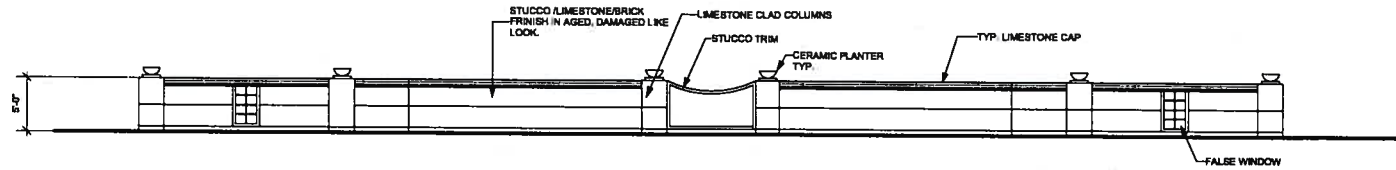
1 EAST ELEVATION  
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION  
Scale: 1/8" = 1'-0"

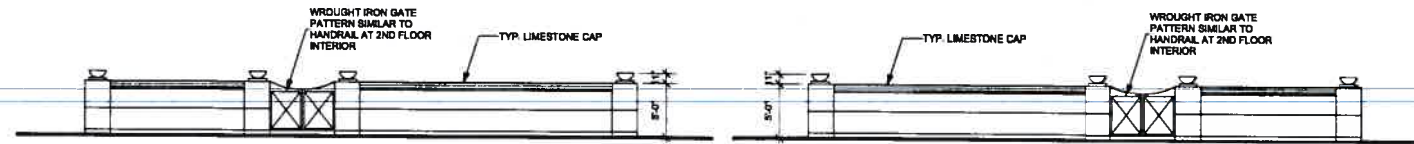


3 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



4 WEST ELEVATION  
Scale: 1/8" = 1'-0"

WEST WALL - SEE SHEET A-308



A EAST ELEVATION  
Scale: 1/8" = 1'-0"

A WEST ELEVATION  
Scale: 1/8" = 1'-0"

2	CITY	MS
1	CITY	MS

MARK STOKLOSA ARCHITECT INC

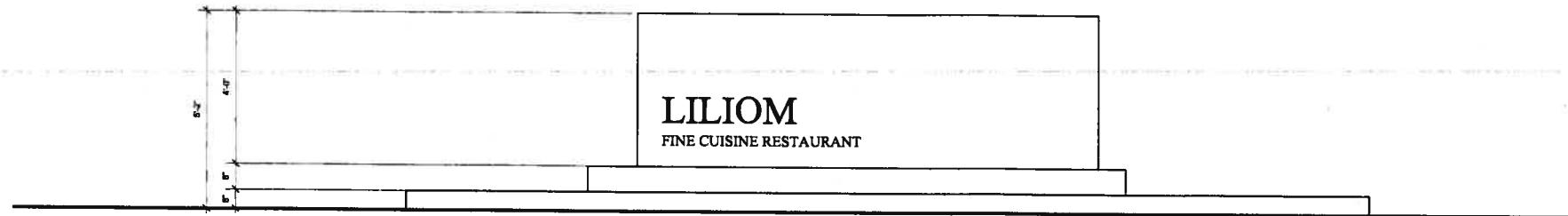
480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94566  
925 484 2684  
925 484 8617

LILLOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY

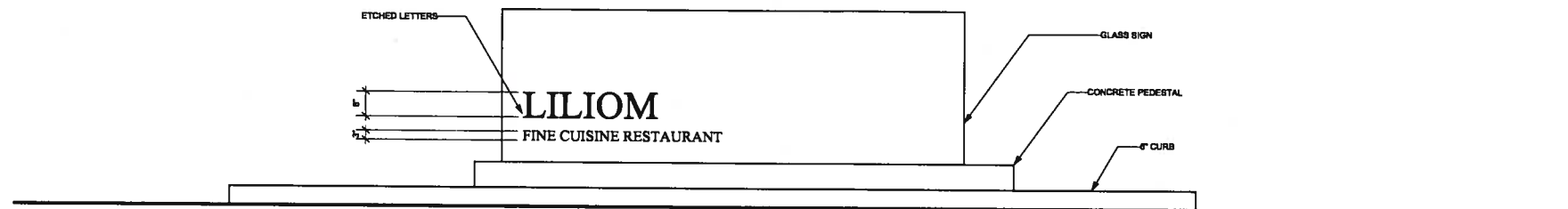
WALLS

DATE:	10-12-07
SCALE:	
DRAWN BY:	MS
PROJECT #	07-017
DRAWING #	

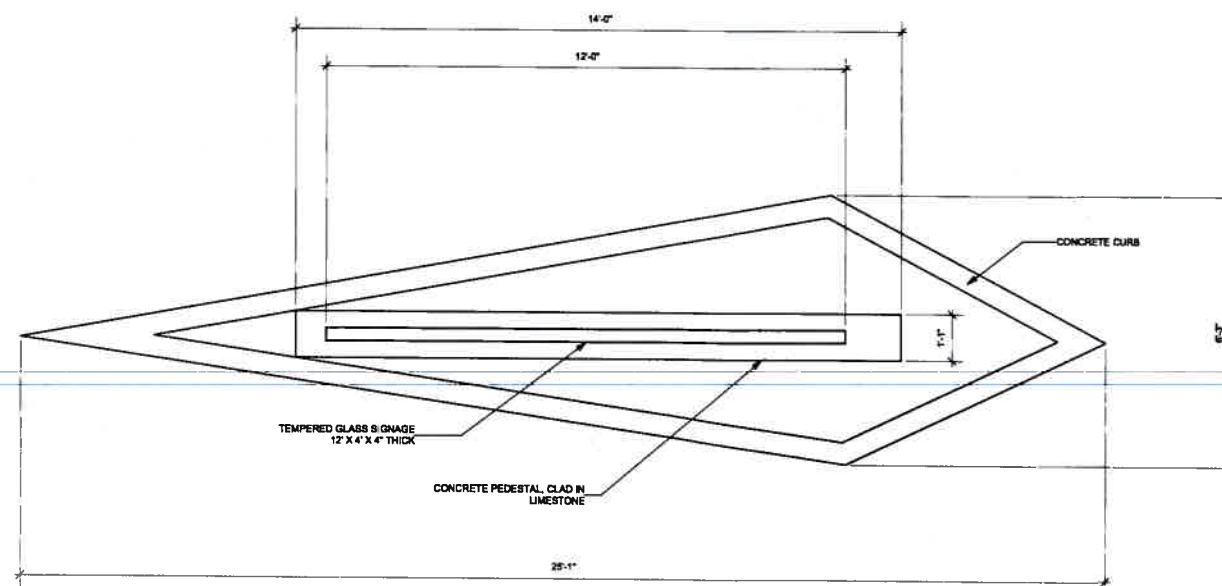
A-803



1 WEST ELEVATION  
Scale: 1/2" = 1'-0"



2 EAST ELEVATION  
Scale: 1/2" = 1'-0"



3 SIGN PLAN  
Scale: 1/2" = 1'-0"

PROVIDE SHOP DRAWINGS FOR THE SIGN

NOTE:  
 PROVIDE SHOP DRAWINGS FOR THE SIGNAGE MONUMENT.  
 PROVIDE LIGHT SUBMERGED IN THE CONCRETE UNDERGRADE.  
 PROVIDE POWER SUPPLY FOR THE SIGNAGE.  
 VERIFY SIGNAGE FOUNDATION AND DESIGN WITH THE STRUCTURAL ENGINEER TO INSURE SIGNAGE STABILITY.  
 OBTAIN PERMIT FROM ALL AGENCIES TO INSTALL THE SIGNAGE.

2	CITY	MS
1	CITY	MS

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94588  
925 484 2064  
925 484 9817

LILIOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY

SIGNAGE

DATE: 10-12-07

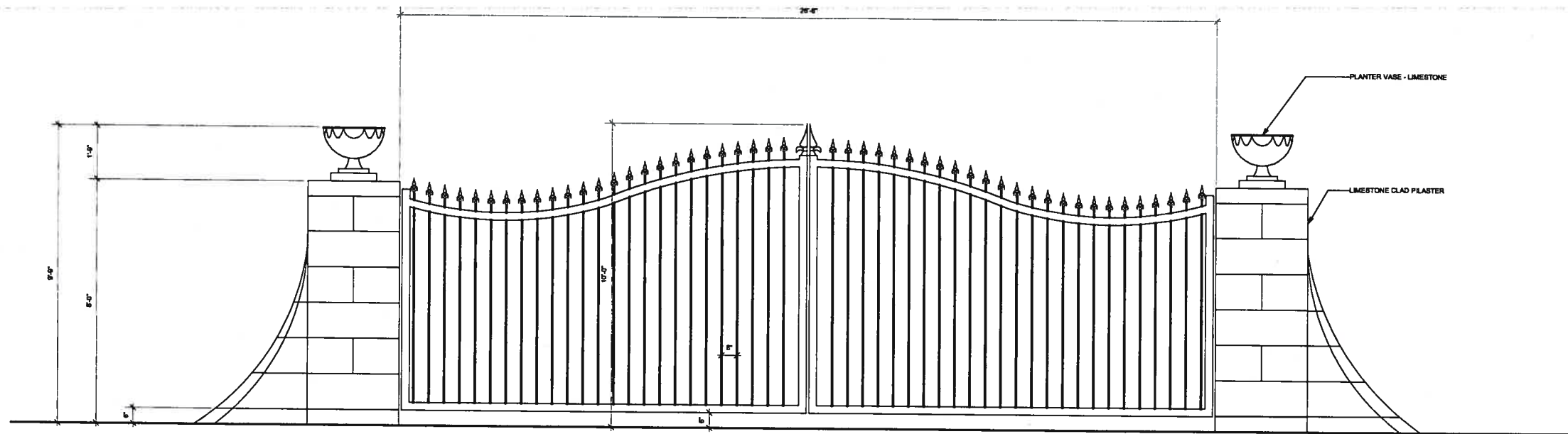
SCALE:

DRAWN BY: MG

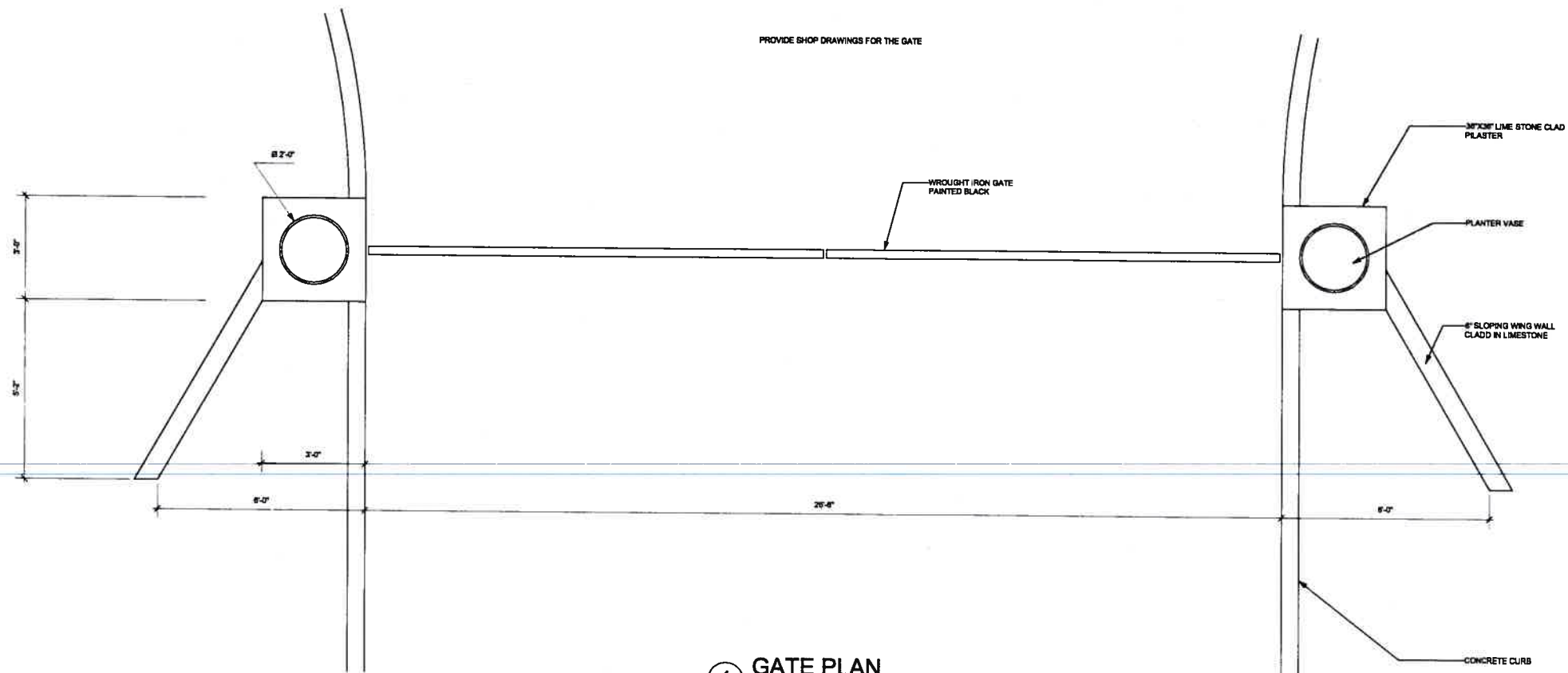
PROJECT # 07-017

DRAWING #

A-804



**2 GATE ELEVATION**  
Scale: 1/2" = 1'-0"



**1 GATE PLAN**  
Scale: 1/2" = 1'-0"

PROVIDE SHOP DRAWINGS FOR THE GATE

NOTE:  
PROVIDE SHOP DRAWINGS FOR THE ARCHITECT AND  
ENGINEER REVIEW, PRIOR TO GATE ORDERING AND INSTALLATION

2	CITY	MS
	5-1-06	
	CITY	MS
	3-3-06	

**MARK  
STOKLOSA  
ARCHITECT  
INC**

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94566  
925 484 2534  
925 484 9617

**LILJOM FINE DINING CUISINE RESTAURANT  
AT 36 ACRE VINEYARD ACRAGE IN PLEASANTON  
FOR BARNABAS NAGY**

GATE DETAILS

DATE: 10-12-07

SCALE:

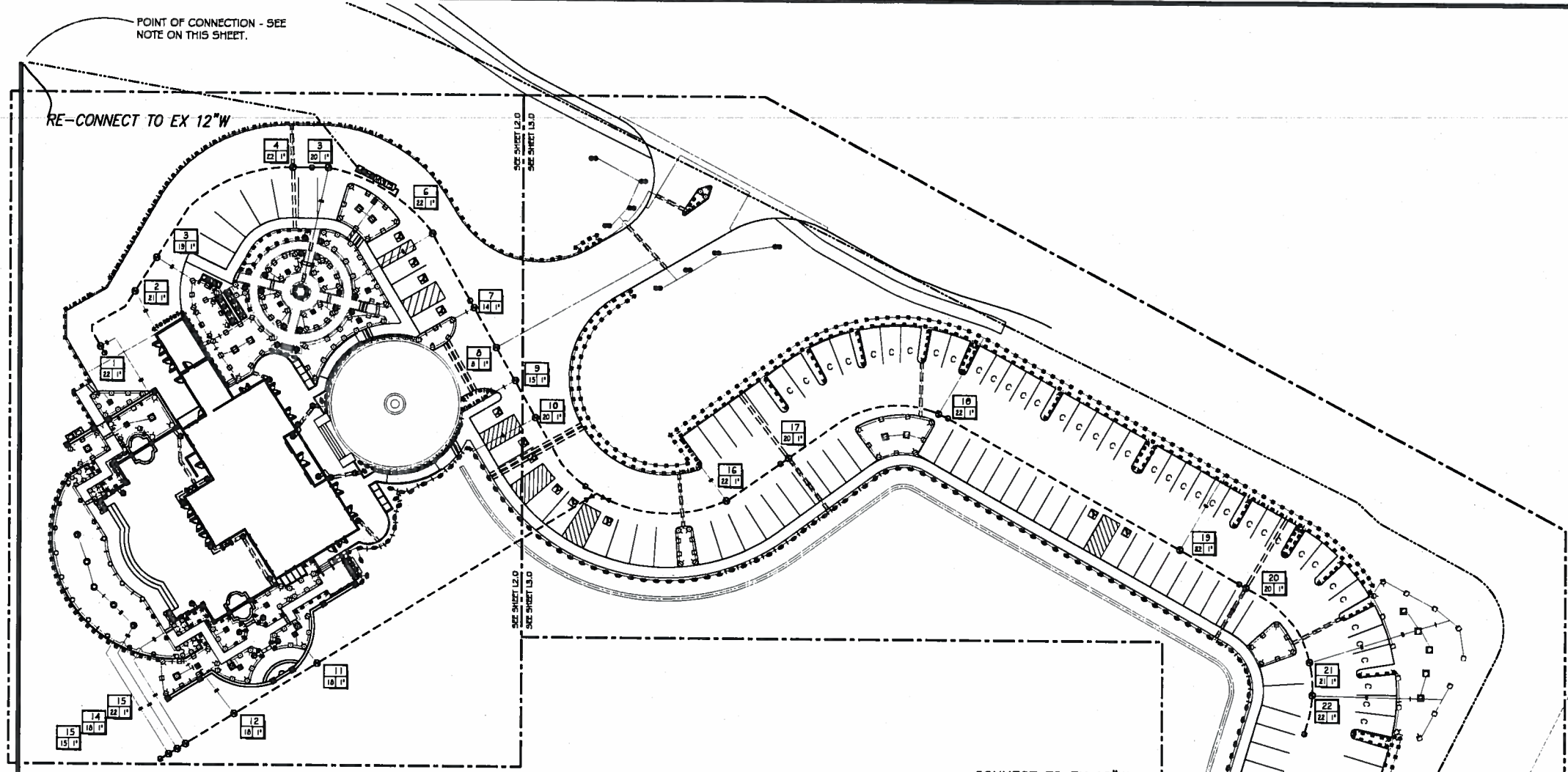
DRAWN BY: MG

PROJECT # 07-017

DRAWING #

**A-805**





POINT OF CONNECTION - SEE NOTE ON THIS SHEET.

RE-CONNECT TO EX 12"W

CONNECT TO EX 12"W

**SPRINKLER LEGEND**

SYMBOL	MANUFACTURER / MODEL	NOZZLE	RAD	PSI	FLOW - GPM						DETAIL
TURF POP-UP SPRAY HEADS WITH CHECK VALVE AND PRESSURE REGULATION											
○	RAIN BIRD 1806-SAM-PRS-8	Q/T/M/F	8'	30	.26	.35	.52			1.1	M, L-3.1
○	RAIN BIRD 1806-SAM-PRS-10	Q/T/M/F	10'	30	.39	.53	.79			1.6	
○	RAIN BIRD 1806-SAM-PRS-12	Q/T/M/T/T/Q/P	12'	30	.65	.87	1.3	1.7	2.0	2.6	
○	RAIN BIRD 1806-SAM-PRS-15	Q/T/M/T/T/Q/P	15'	30	.92	1.2	1.9	2.5	2.8	3.7	
○	RAIN BIRD 1806-SAM-PRS-15 STRIP	EST/ST/CST	4x15'	30	.61/1.2/1/1.2/1						
SHRUB HI-POP SPRAY HEADS WITH CHECK VALVE AND PRESSURE REGULATION											
⊕	RAIN BIRD 1812-SAM-PRS-5	Q/T/M/F	5'	30	.10	.13	.20			.41	L, L-3.1
⊕	RAIN BIRD 1812-SAM-PRS-6	Q/T/M/F	6'	30	.26	.35	.52			1.1	
⊕	RAIN BIRD 1812-SAM-PRS-10	Q/T/M/F	10'	30	.39	.53	.79			1.6	
⊕	RAIN BIRD 1812-SAM-PRS-12	Q/T/M/T/T/Q/P	12'	30	.65	.87	1.3	1.7	2.0	2.6	
⊕	RAIN BIRD 1812-SAM-PRS-15	Q/T/M/T/T/Q/P	15'	30	.92	1.2	1.9	2.5	2.8	3.7	
⊕	RAIN BIRD 1812-SAM-PRS	15-VAN	15'	30	.46 - 3.7						D, L-3.1
⊕	RAIN BIRD 1812-SAM-PRS-5-B	Q/M/V/CST	5'	30	0.5/1.0/1.5/0.5						
⊕	RAIN BIRD 1402	N/A	N/A	30	0.5						N, L-3.1

**EQUIPMENT LEGEND**

SYMBOL	MANUFACTURER / MODEL NUMBER	SIZE	DETAIL
M	WATER METER - SEE POINT OF CONNECTION NOTE ON PLANS	3/4"	F, L-3.2
C	TORO T15-36-OD-ETE-360-SY AUTOMATIC CONTROLLER WITH R-1 KIT	36 STATION	A, L-3.1
BP	PEBCO 825YA SERIES REDUCED PRESSURE BACKFLOW PREVENTER	1"	D, L-3.1
MV	TORO 220-26-06 BRASS MASTER CONTROL VALVE	1.5"	C, L-3.1
FS	TORO TFS-100 FLOW SENSOR	1"	H, L-3.1
RS	TORO TRWS WIRELESS RAIN SENSOR	1"	H, L-3.1
BV	NIBCO T-500-70 BRONZE BALL VALVE	N/A	K, L-3.1
Q	TORO 100-SLVLC QUICK COUPLING VALVE WITH LOCKING VINYL COVER	2"	D, L-3.1
Q	TORO P.220-26-04 CONTROL VALVE	1"	E, L-3.1
---	SCH 40 PVC IRRIGATION PRESSURE MAINLINE - 18" MINIMUM COVER	2"	G, L-3.1
---	CLASS 200 PVC NON-PRESSURE LATERAL LINE - 12" MINIMUM COVER	PLAN SIZE	G, L-3.1
---	SCH40 PVC NON-PRESSURE LATERAL LINE - 12" MINIMUM COVER	PLAN SIZE	G, L-3.1
---	SCH 40 PVC IRRIGATION PIPE/CONTROL WIRE SLEEVE - 18" MINIMUM COVER	PLAN SIZE	H, L-3.1
---	NOT SHOWN	UP DIRECT BURIAL CONTROL WIRE WITH WATERPROOF CONNECTIONS	N/A

**PRESSURE LOSS CALCULATIONS**

STATION 33 - HIGHEST FLOW - FURTHEST FROM POC - 22 GPM

EQUIPMENT	SIZE	LOSS
WATER METER	0.75"	7.9
BACKFLOW DEVICE	1"	12.0
FLOW SENSOR	1"	1.0
MASTER VALVE	1.5"	4.0
MAINLINE	805' OF 2"	6.0
CONTROL VALVE	1"	3.3
LATERAL LINES	<5 FPS	2.0
<b>SUBTOTAL PRESSURE LOSSES</b>		<b>36.2</b>
MISC. LOSSES THRU SYSTEM (10%)		3.6
<b>TOTAL PRESSURE LOSSES</b>		<b>39.8</b>
<b>PRESSURE REQUIRED AT HEAD</b>		<b>30.0</b>
<b>TOTAL PRESSURE REQUIRED</b>		<b>69.8</b>
<b>DESIGN PRESSURE</b>		<b>80.0</b>
<b>RESIDUAL PRESSURE</b>		<b>10.2</b>

POINT OF CONNECTION A - POTABLE WATER METER #  
 METER SIZE - 0.75"  
 BACKFLOW PREVENTER SIZE - 1"  
 FLOW SENSOR - 1"  
 MASTER VALVE - 1.5"  
 MAXIMUM DEMAND - 22 GPM  
 NUMBER OF VALVES - 22 CONTROLLER SIZE - 36 STATION  
 STATIC PRESSURE AT METER - 80.0 PSI  
 AREA SHRUBS - 20,455 SQ. FT.  
 AREA TURF - 2,294 SQ. FT.  
 TOTAL AREA COVERED - 22,749 SQ. FT.



POINT OF CONNECTION  
 MAKE IRRIGATION POINT OF CONNECTION INTO EXISTING 12" WATER LINE AT POINT SHOWN ON PLANS. INSTALL A NEW 1" SERVICE LINE AND A NEW 0.75" IRRIGATION WATER METER PER ALL LOCAL CODES AND STANDARDS. VERIFY EXACT LOCATION IN THE FIELD AND ADJUST AS NECESSARY. INSTALL BACKFLOW PREVENTER IMMEDIATELY DOWNSTREAM OF METER PER ALL LOCAL CODES. FINAL BACKFLOW PREVENTER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER. INSTALL MASTER VALVE AND FLOW SENSOR DOWNSTREAM OF BACKFLOW DEVICE AND WIRE TO CONTROLLER PER MANUFACTURER'S DIRECTIONS. MAXIMUM DEMAND IS 22 GPM.

WATER PRESSURE NOTE  
 STATIC PRESSURE IN EXISTING 12" WATER LINE IS UNKNOWN. CONTRACTOR SHALL VERIFY PRESSURE PRIOR TO START OF INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT IN WRITING IF STATIC PRESSURE IS LESS THAN 80 PSI OR GREATER THAN 100 PSI.

CONTROLLER  
 INSTALL IRRIGATION CONTROLLER ADJACENT TO BUILDING AS SHOWN ON THE PLANS. FINAL CONTROLLER LOCATION TO BE APPROVED IN THE FIELD BY THE OWNER. THE OWNER IS TO PROVIDE 120V AC POWER TO THE FINAL CONTROLLER LOCATION. THE IRRIGATION CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS PER LOCAL CODES. MOUNT, GROUND, AND WIRE ALL THE CONTROL EQUIPMENT PER THE MANUFACTURER'S DIRECTIONS, THESE PLANS, AND PER ALL LOCAL CODES. CONTRACTOR SHALL PROVIDE A ONE TMR-1 REMOTE CONTROL KIT.

SLEEVING  
 MAINLINE AND VALVES SHOWN OUTSIDE OF PLANTED AREAS FOR CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT IN ADJACENT PLANTED AREAS EXCEPT WHERE SLEEVING IS SHOWN ON THE PLANS. ALL PIPES AND WIRES THAT MUST RUN UNDER HARDSCAPE TO BE SLEEVED IN SCH 40 PVC SLEEVES ACCORDING TO THE SLEEVING CHART.

**PIPE SIZING**

+	0.75" PIPE
—	1" PIPE
—	1.25" PIPE
—	1.5" PIPE
—	2" PIPE
—	2.5" PIPE
—	3" PIPE
—	4" PIPE
—	6" PIPE
—	8" PIPE

**SCH 40 PVC SLEEVING**

1.25" SLEEVE	1-8 WIRES	N/A
1.5" SLEEVE	9-16 WIRES	0.5" PIPE
2" SLEEVE	17-26 WIRES	0.75" PIPE
2.5" SLEEVE	27-36 WIRES	1" PIPE
3" SLEEVE	39-54 WIRES	1.25" PIPE
4" SLEEVE	55-100 WIRES	1.5" PIPE
6" SLEEVE	100+ WIRES	2.5" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE

**Underground Service Alert**

CALL BEFORE YOU DIG

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**1-800-227-2600**

TWO WORKING DAYS BEFORE YOU DIG

**REVISIONS**

DATE	DESCRIPTION	BY
2/14	IRRIGATION	VIC
3/14	IRRIGATION	VIC
4/2	PARKING	VIC

NOTES:

CLIENT INFORMATION:  
**LILIOM RESTAURANT**  
 ARPAD & BARNABAS NAGY  
 2001 RUBY HILLS BLVD  
 LIVERMORE, CA 94550

**JOHN MONTGOMERY**  
 LANDSCAPE ARCHITECTS  
 GARDEN ARCHITECTURE

P.O. BOX 615-ALAMO • CA 94507  
 PHONE 925.870.8884 • FAX 925.870.6465  
 LICENSE NO. 4059



**2.5 ACRE SITE PLAN**

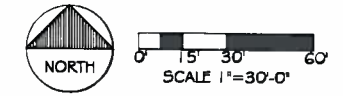
SCALE:  
 1"=30'-0"

DATE:  
 APRIL 19, 2007

PROJECT NO:  
 LILIOM

DRAWN BY: VIC  
 CHECKED BY: JEM

SHEET NO:



**L.I.O.**

# PLANTING SPECIFICATIONS

# PLANT SCHEDULE

# PLANT SCHEDULE (Cont.)

### SITE PREPARATION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING AND FOR ALL PLANTING AREA DRAINAGE. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AS PER CITY CODES SHALL BE MAINTAINED. NO LOW SPOTS WHICH HOLD STANDING WATER WILL BE ACCEPTED.
- THE CONTRACTOR SHALL SPRAY ANY EXISTING WEED GROWTH WITH ROUND-UP HERBICIDE TWO WEEKS (MIN.) TO FOUR WEEKS PRIOR TO COMMENCEMENT OF SITE PREPARATION.
- PREPARE SOIL BY ROTOTILLING SIX (6) CUBIC YARDS OF ORGANIC GREEN (OR EQUIVALENT) SOIL AMENDMENT PER 1000 SQ. FEET INTO EXISTING SOIL TO A DEPTH OF 4 TO 8 INCHES IN GROUND COVER AND LAWN AREAS ONLY.
- WHERE ROTOTILLING IS NOT POSSIBLE INCORPORATE SOIL AMENDMENTS INTO THE TOP 6 INCHES WITH HAND TOOLS.
- GROWING MEDIA SHOULD BE FERTILE AND FRIABLE AND OF SUCH QUALITY THAT WILL PROMOTE THE HEALTHY GROWTH OF THE PLANT MATERIAL.
- SOIL SHOULD BE REASONABLY FREE OF ROCKS, DEBRIS AND ALL NOXIOUS WEEDS.
- IMPORTED SOIL, IF REQUIRED, SHOULD BE FREE OF DISEASES, PESTS, AND ALL NOXIOUS WEEDS AND SHOULD BE OF SIMILAR TEXTURE TO THE NATIVE MATERIAL ON THE SITE. PROVIDED THE EXISTING NATIVE MATERIAL IS SUITABLE FOR PLANTING, ALL IMPORTED SOIL SHOULD BE BLENDED TO A DEPTH OF THREE TO SIX INCHES WITH THE SUB-GRADE MATERIAL TO PREVENT INTERFACE.

### PLANTING:

- SHRUBS: THE SHRUBS ARE TO BE PLANTED AS PER DETAILS ON PLANS. PLANT EACH PLANT WITH 1/2 NITRIFIED FIR, AND 1/2 AMENDED SITE SOIL. EACH PLANT SHALL HAVE A WATERING BASIN. APPLY 1 AGRIFORM TAB PER 1 GALLON, 2 TABS PER 5 GAL. 3 TABS PER 15 GAL. AND 4 TABS PER 24" BOX. (SHRUBS INCLUDE GRASSES PERENNIALS, AND ROSES).
- TREES: THE TREES ARE TO BE PLANTED AS PER DETAIL ON PLANS. TREES SHALL TYPICALLY BE LOCATED A MINIMUM OF 8 FEET FROM CURBS, WALKS, HEADERS, BUILDING OVERHANGS AND OTHER TREES WITHIN THE PROJECT. TREES TO BE LOCATED WITHIN 3 FEET OF A CURB, WALK, HEADER, OR BUILDING FOUNDATION SHALL BE PLANTED IN A "DEEP ROOT" BARRIER AS PER MANUFACTURER'S RECOMMENDATIONS. MULTI - TRUNK INDICATES (3) THREE TRUNKS (MIN.) BRANCHED FROM THE BASE OF THE TREE. STAKE ALL TREES AS PER DETAIL WITH ONE-3" ROUND LODGEPOLE TYPE TREE STAKE 8' OR 10' IN LENGTH. TIE WITH RUBBER TREE STRAPS.
- LAWN: ALL LAWN AREAS TO BE SODDED WITH BOLERO™ FESCUE MIX SUPPLIED BY DELTA BLUEGRASS SOD CO., STOCKTON, CA. APPLY STARTER FERTILIZER AT 2 LBS. PER 1000 SQ. FT. AT 1" DEPTH BEFORE LAYING SOD, WATER AND ROLL SOD IMMEDIATELY FOLLOWING INSTALLATION.
- GROUND COVER PLANTS: ALL ROOTED CUTTINGS SHOULD BE HEALTHY VEGETATIVE MATERIAL WITH WELL ESTABLISHED ROOTS AT ONE OR MORE NODES. ALL CONTAINER GROWN GROUND COVER SHOULD BE WELL ROOTED WITHIN THE ROOTING MEDIUM.
- ALL PLANTS SHOULD BE OF A REASONABLY UNIFORM AND STANDARD SIZE FOR EACH SPECIES, WELL FORMED, AND IN A HEALTHY FULLY ROOTED, THRIVING CONDITION.
- ALL PLANTS SHOULD BE TRUE TO TYPE OR NAME, BY SPECIES AND VARIETY, AS REQUIRED BY THE CALIFORNIA FOOD AND AGRICULTURE CODE.
- ALL PLANTS SHOULD BE TYPICAL OF THEIR SPECIES AND VARIETY AND SHOULD HAVE NORMAL HABIT OF GROWTH. THE TOP GROWTH SHOULD BE STRUCTURED PROPORTIONATELY SO THAT IT IS REPRESENTATIVE OF THE SPECIES.
- ALL PLANTS SHOULD COMPLY WITH FEDERAL AND STATE LAWS REQUIRING INSPECTION FOR PLANT DISEASES AND INFESTATIONS. INSPECTION CERTIFICATES REQUIRED BY LAW SHOULD ACCOMPANY EACH SHIPMENT OF PLANTS.
- CONTAINER-GROWN PLANTS SHOULD BE SUFFICIENTLY ESTABLISHED SO THAT A MINIMUM OF 75% OF EACH ROOT BALL STAYS INTACT DURING PLANTING. WHEN LIFTED BY THE TRUNK, THE TRUNK SHOULD RISE NO MORE THAN ONE INCH BEFORE THE SOIL SURFACE OF THE ROOT BALL BEGINS TO RISE. WHEN UNSUPPORTED, THE TRUNK OF TREES SHOULD LEAN NO MORE THAN 30 DEGREES FROM THE VERTICAL WHEN MEASURED WITHIN FOUR INCHES OF THE ROOT BALL.

- PRIOR TO PLANTING GROUND COVER PLANTS, SOIL AMENDMENTS AND FERTILIZERS SHOULD BE UNIFORMLY INCORPORATED INTO THE SOIL AND FINISH GRADE ESTABLISHED. PLANTS SHOULD BE EVENLY SPADED AT THE REQUIRED SPACING, PLANTED IN MOIST SOIL, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING.
- PLANT LOCATIONS SHOULD BE LAID OUT AS INDICATED ON THE DRAWINGS, ADJUSTING AS NECESSARY TO AVOID EXISTING UNDERGROUND AND OVERHEAD UTILITIES. PLANTS SHOULD BE LOCATED WHERE THEY WILL NOT OBSTRUCT IRRIGATION SPRINKLERS OR DRAINAGE SWALES AND FAR ENOUGH AWAY FROM THOROUGHFARES SO THEY WILL NOT ENCRONCH WHEN THEY REACH THEIR ULTIMATE SIZE.
- UPON COMPLETION OF PLANTING TREES SHRUBS AND GROUND COVERS, AND PRIOR TO THE APPLICATION OF PRE-EMERGENT WEED CONTROL AND MULCH, ALL PLANTING AREAS SHOULD BE FINAL GRADED TO RE-ESTABLISH PROPER GRADES, AND RAKED SMOOTH AND CLEAN. ALL DEBRIS, AND ROCK OR CLAY LUMPS ONE INCH AND LARGER SHOULD BE REMOVED.

### CHEMICAL WEED CONTROL:

- HERBICIDES USED FOR CHEMICAL WEED CONTROL SHOULD BE APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS AND MUST BE DONE IN ACCORDANCE WITH ALL REGULATIONS OF GOVERNMENT AGENCIES. USE EXTREME CARE WHEN USING HERBICIDES TO AVOID THE RISK OF DAMAGE TO OTHER PLANT MATERIALS AND INJURY TO HUMANS AND WILDLIFE.
- TREAT ALL PLANTER BED AREAS WITH RONSTAR-G PRE-EMERGENT WEED CONTROL (FOLLOW MANUFACTURER'S RECOMMENDATIONS) BEFORE APPLYING TOP MULCH.

### MULCHING:

- PLANTING AREAS SHOULD BE MULCHED TO HELP KEEP THE SOIL AND YOUNG PLANT ROOTS AT A DESIRABLE TEMPERATURE, MAINTAIN MOISTURE, AND REDUCE WEED GROWTH. MULCH SHOULD BE APPLIED IN AN EVEN AND SMOOTH LAYER OVER THE PLANTING AREA AFTER FINAL GRADING IS COMPLETE AND AFTER THE APPLICATION OF AN APPROPRIATE PRE-EMERGENT HERBICIDE.
- TOP MULCH ALL PLANTER BED AREAS WITH 1" (MIN.) NITRIFIED FIR BARK (1/4" TO DUST) OR EQUAL. ALL SLOPE AREAS WITH A GRADE OF MORE THAN 10% SHALL BE MULCHED WITH 2" (MIN.) SHREDDED CEDAR MULCH.

### SODDED LAWN PLANTING:

- AFTER SOIL PREPARATION IS COMPLETE, THE FINISH GRADE OF AREAS TO BE SODDED SHOULD BE APPROXIMATELY ONE INCH BELOW THE SURFACE OF ADJACENT PAVING OR OTHER EDGING.
- A SUITABLE FERTILIZER SHOULD BE APPLIED, FOLLOWING MANUFACTURER'S RECOMMENDATIONS, AND THE SOIL MOISTENED PRIOR TO SODDING.
- THE SOD SHOULD BE LAID WITH STAGGERED, BUTTED JOINTS AND SHOULD BE IN FIRM CONTACT WITH THE SOIL WITH NO SPACES BETWEEN THE JOINTS.
- THE SOD SHOULD BE ROLLED IMMEDIATELY FOLLOWING INSTALLATION AND PRIOR TO INITIAL WATERING. HEAVY WATER SATURATION OF THE SOD, IN LIEU OF ROLLING, IS ACCEPTABLE IF A TIGHT BOND CAN BE ENSURED.
- PROPER MOISTURE SHOULD BE PROVIDED THROUGHOUT THE SOD INSTALLATION OPERATIONS TO AVOID UNNECESSARY STRESS TO THE PLANT MATERIAL. SOD SHOULD BE THOROUGHLY WATERED UPON COMPLETION OF INSTALLATION AND PROPER SOIL MOISTURE LEVEL MAINTAINED THEREAFTER.
- THE FIRST MOWING SHOULD BE DONE BEFORE THE GRASS REACHES FOUR INCHES IN HEIGHT AND WHEN THE SOIL IS IN A RELATIVELY FIRM CONDITION. NO MORE THAN ONE-THIRD OF THE LEAF SURFACE SHOULD BE REMOVED WITH ANY SINGLE MOWING.

BOTANICAL NAMES	COMMON NAMES	BY OWNER	QTY:	SIZE:
<b>KEY: TREES :</b>				
T1 Acer palmatum	Japanese Maple		1	24"
T2 Acer palmatum 'Burgundy Lace'	Japanese Maple		1	24"
T3 Cupressus sempervirens 'Glauca'	Italian Cypress		155	24"
T4 Cupressus sempervirens 'Spiral'	Italian Cypress		5	24"
T5 Lagerstroemia indica 'Twilight'	Grape Myrtle		2	24"
T6 Olea europaea	European Olive (Specimen)		2	
T7 Olea europaea 'Swan Hill' (Multi)	Swan Hill Olive (fruitless)		5	60"
T8 Punica granatum	Pomegranate		1	24"
<b>KEY: PALMS</b>				
PT1 Butia capitata	Pindo Palm		2	15 Gal.
PT2 Chamaerops humilis	Mediterranean Fan Palm (Specimen)		1	24"
PT3 Phoenix canariensis	Canary Island Date Palm (Specimen)		2	
PT4 Syagrus romanzoffianum	Queen Palm		2	24"
PT5 Trachycarpus fortunei	Windmill Palm		1	3 15 Gal.
<b>KEY: CONTAINER PALMS:</b>				
CA Chamaerops humilis centifera (argentea)	Mediterranean Fan Palm		8	15 Gal.
CB Cordyline australis 'Red Star'	Red Star Grass Palm		2	15 Gal.
CC Cycas revoluta	Sago Palm		2	6 15 Gal.
<b>KEY: SHRUBS:</b>				
S1 Abelia grandiflora 'Little Richard'	Abelia		8	5 Gal.
S2 Azalea southern indica 'Formosa'	'Formosa' Sun Azalea		8	5 Gal.
S3 Azalea southern indica 'White Lace'	'White Lace' Sun Azalea		7	5 Gal.
S4 Buxus microphylla japonica 'Green Beauty'	Japanese Boxwood		71	1 Gal.
S5 Buxus microphylla japonica 'Winter Gem'	Boxwood		540	1 Gal.
S6 Camellia japonica 'Nuccio's Gem'	Camellia		6	5 Gal.
S7 Caryopteris x clandonensis 'Dark Knight'	Bluebeard		4	5 Gal.
S8 Dodonaea viscosa 'Saratoqa'	Hop Bush		19	5 Gal.
S9 Hebe 'Autumn Glory'	Hebe		7	5 Gal.
S10 Helleborus hybrids	Hellebore		18	1 Gal.
S11 Hibiscus synacus 'Collie Mullens'	Rose of Sharon		1	5 Gal.
S12 Hibiscus synacus 'Diana'	Rose of Sharon		2	5 Gal.
S13 Hydrangea macrophylla	Bigleaf Hydrangea		2	5 Gal.
S14 Lavandula x intermedia 'Grosso'	Lavender		42	1 Gal.
S15 Lavandula x intermedia 'Provence'	Lavender		140	1 Gal.
S16 Lavandula Stoechas 'Otto Quast'	Spanish lavender		10	5 Gal.
S17 Loropetalum chinense 'Razzelebern'	Razzelebern Loropetalum		15	5 Gal.
S18 Olea europaea 'Little Olive-Montra'	Dwarf Olive		183	5 Gal.
S19 Pittosporum tobira 'Vaneagata'	Pittosporum		7	5 Gal.
S20 Polygala x dalmanisiana	Sweet Pea Shrub		8	5 Gal.
S21 Rosmannus officinalis 'Ken Taylor'	Ken Taylor Rosemary		3	5 Gal.
S22 Symnna x persica	Persian Lilac		1	15 Gal.
S23 Viburnum davidii	Viburnum		14	5 Gal.
<b>KEY: PERENNIALS:</b>				
P1 Agapanthus africanus	Lily-of-the-Nile		42	2 Gal.
P2 Campanula poscharskyana 'Alba'	Serbian Bellflower		28	1 Gal.
P3 Hemerocallis 'Gentle Shepherd'	Gentle Shepherd Day Lily		20	1 Gal.
P4 Hemerocallis 'Lavender Dew'	Daylily		19	1 Gal.
P5 Hemerocallis 'Double Gold Monoid'	Daylily		38	1 Gal.
P6 Hemerocallis 'Purple Majic'	Daylily		49	1 Gal.
P7 Hemerocallis 'Stella d'Oro'	Daylily		6	1 Gal.
P8 Hemerocallis 'Sunday Gloves'	Daylily		56	1 Gal.
P9 Heuchera 'Dark Delight'	Dark Delight Coral Bells		8	1 Gal.
P10 Ins ensata	Bearded Ins		51	1 Gal.
P11 Ins sibirica	Siberian Ins		7	1 Gal.
P12 Nepeta x faassenii	Catmint		30	1 Gal.
P13 Penstemon gloxnioides 'Midnight'	Border Penstemon		8	1 Gal.
P14 Zantedeschia aethiopia	Common Calla		18	1 Gal.
<b>KEY: FERNS:</b>				
F1 Nephrolepis cordifolia	Southern Sword Fern		5	5 Gal.
<b>KEY: ORNAMENTAL GRASSES:</b>				
OG1 Carex tunulicola	Sedge		21	5 Gal.
OG2 Linope gigantea	Big Blue Lily Turf		2	5 Gal.
OG3 Nassella tenuissima	Mexican Feather Grass		143	1 Gal.
OG4 Pennisetum setaceum 'Rubrum Dwarf'	Dwarf Fountain Grass		2	5 Gal.
OG5 Phormium tenax 'Amazna Red'	New Zealand Flax		9	5 Gal.
OG6 Phormium tenax 'Chocolate'	New Zealand Flax		5	5 Gal.
OG7 Phormium tenax 'Dark Delight'	New Zealand Flax		17	5 Gal.
OG8 Phormium tenax 'Pink Stripe'	New Zealand Flax		17	5 Gal.
OG9 Phormium tenax 'Tricolor'	New Zealand Flax		6	5 Gal.
OG10 Stipa arundinacea	Feather Grass		5	5 Gal.

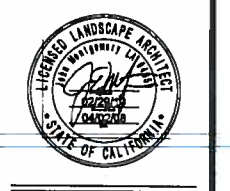
BOTANICAL NAMES	COMMON NAMES	BY OWNER	QTY:	SIZE:
<b>KEY: TREE ROSES:</b>				
TR1 Rosa 'Crimson Bouquet'	Tree Rose		2	5 Gal.
TR2 Rosa hybrid tea	Tree Rose		2	5 Gal.
TR3 Rosa 'Melody Parfumee'	Tree Rose		1	5 Gal.
TR4 Rosa 'Just Joey'	Tree Rose		1	5 Gal.
TR5 Rosa 'Spellbound'	Tree Rose		1	5 Gal.
TR6 Rosa 'Diana Princess of Wales'	Tree Rose		1	5 Gal.
TR7 Rosa 'Mister Lincoln'	Tree Rose		1	5 Gal.
TR8 Rosa 'Double Delight'	Tree Rose		1	5 Gal.
TR9 Rosa 'Welcome Home'	Tree Rose		1	5 Gal.
TR10 Rosa 'Color Me Pink'	Tree Rose		1	5 Gal.
<b>KEY: ROSES (BUSH):</b>				
R1 Rosa	Rose		4	5 Gal.
R2 Rosa 'Iceberg'	Iceberg Rose Bush		5	5 Gal.
<b>KEY: CLIMBING ROSES:</b>				
CR1 Rosa 'Joseph's Coat'	Joseph's Coat Rose		2	5 Gal.
<b>KEY: FRUIT BEARING TREES:</b>				
FT1 Citrus 'Improved Meyer'	Dwarf Improved Meyer Lemon		4	15 Gal.
FT2 Citrus 'Moro'	Dwarf Blood Orange		8	15 Gal.
FT3 Citrus 'Pink Lemonade'	Dwarf Pink Lemonade Lemon		4	15 Gal.
FT4 Citrus 'Sanguinell'	Dwarf Blood Orange		4	15 Gal.
FT5 Citrus 'Valencia'	Dwarf Valencia Orange		2	15 Gal.
<b>KEY: VINES:</b>				
V1 Bougainvillea spectabilis 'Texas Dawn'	Bougainvillea		8	5 Gal.
V2 Ficus pumila	Creeping Fig		4	5 Gal.
V3 Parthenocissus tricuspidata 'Veitchii'	Boston Ivy		10	5 Gal.
V4 Wistena sinensis 'Alba'	Chinese Wistena		1	5 Gal.
V5 Wistena sinensis 'Amethyst'	Chinese Wistena		4	5 Gal.
<b>KEY: GROUND COVERS:</b>				
GC1 Mentha requienii	Jewel Mint of Corsica		48	4"
GC2 Onogonum laevigatum 'Hopleys White'	Oregano		80	4"
GC3 Rosmannus officinalis 'Irene'	Rosemary		58	1 Gal.
GC4 Stachys macrantha 'Superba'	Stachys		32	4"
GC5 Teucrium cossonii majoncum	Germander		432	4"
GC6 Veronica pedunculans 'Georgia Blue'	Veronica		208	1" O.C.
<b>KEY: ANNUALS:</b>				
AN Seasonal Annuals ( Selection by Owner)				4"
<b>KEY: CULINARY HERBS:</b>				
CHA Planting Bed A:				
Allium sativum	Garlic		3	4"
Artemisia dracuncululus	French Tarragon		1	4"
Conandrum sativum	Cilantro		3	4"
Milissa officinalis 'Aurea'	Lemon Balm		1	4"
Ocimum basilicum	Sweet Basil		3	4"
Salvia officinalis 'Tricolor'	Common Sage		1	4"
Thymus x citrodorus 'Aureus'	Lemon Thyme		3	4"
CHB Planting Bed B:				
Borago officinalis	Borage		1	4"
Foeniculum vulgare	Common Fennel		3	4"
Hyssopus officinalis	Hyssop		1	4"
Rosmannus o. 'Collingwood Ingram'	Rosemary		1	1 Gal.
Salvia officinalis 'Purpurascens'	Common Sage		3	1 Gal.
Thymus vulgans 'Argenteus'	Silver Thyme		3	4"
Thymus vulgans 'Orange Balsam'	Orange Thyme		3	4"
CHC Planting Bed C:				
Melichrysum italicum	Hyssop		3	4"
Ocimum basilicum 'Red Rubin'	Purple-leaf Basil		3	4"
Ocimum sanctum	Thai Kaprow		3	4"
Onogonum x majoncum	Italian Marjoram		3	4"
Petroselinum cnsupm	Parsley		3	4"
Salvia officinalis 'Icterna'	Garden Sage		2	1 Gal.
Satureia douglasii	Yerba Buena		1	4"
MF Mow-Free Fescue				6,440 SQ FT
SOD Bolero™ Fescue				2,294 SQ FT

REVISIONS		
DATE:	DESCRIPTION:	BY:
4/2	PARKING	LPS

NOTES:

CLIENT INFORMATION:  
**LILLOM RESTAURANT**  
 ARPAD & BARNABAS NAGY  
 2001 RUBY HILLS BLVD  
 LIVERMORE, CA 94550

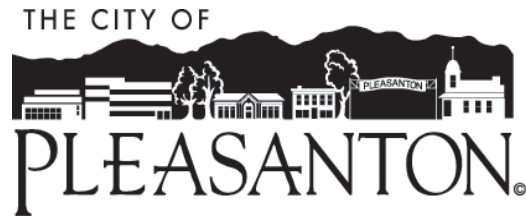
**JOHN MONTGOMERY**  
 LANDSCAPE ARCHITECTS  
 GARDEN ARCHITECTURE  
 P.O. BOX 615-ALAMO • CA • 94507  
 PHONE 925.870.8884 • FAX 925.870.6455  
 LICENSE NO. 4059



### PLANTING NOTES & SCHEDULE

SCALE:  
 AS NOTED  
 DATE:  
 APRIL 19, 2007  
 PROJECT NO:  
 LILLOM  
 DRAWN BY: TR  
 CHECKED BY: JEM  
 SHEET NO:

L6.1



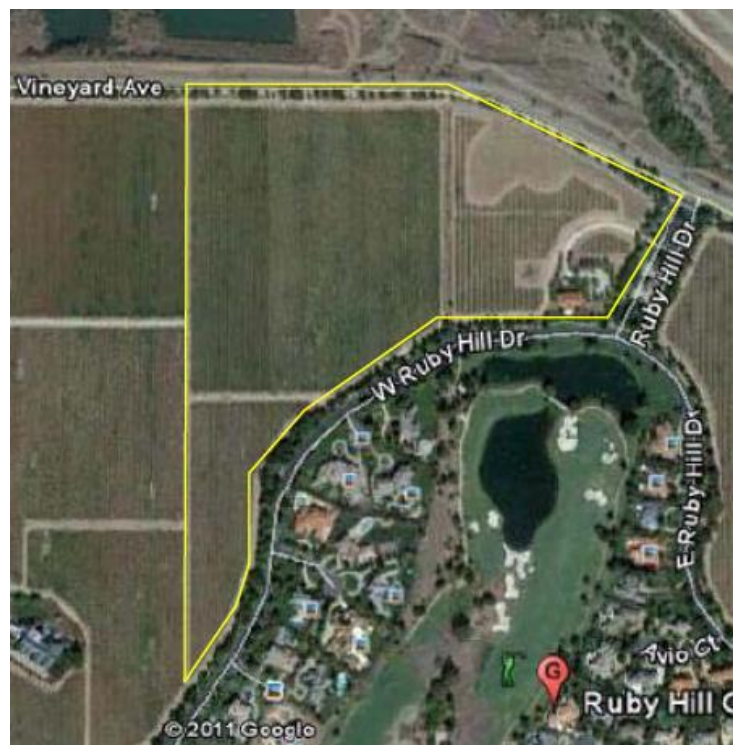
## MEMORANDUM

**Date:** October 26, 2011  
**To:** Chair Narum and Members of the Planning Commission  
**From:** Planning Division  
**Subject:** Item 6.a./PUD-93-02-10M

The plan set, Exhibit B (site plan, floor plans, elevations) attached to the October 12, 2011, Planning Commission staff report for the above item included revisions that were shown in the plan check set submitted for building permit after the City Council approval in 2007. These revisions were reviewed by the Zoning Administrator at that time, and they were found to be in substantial conformance to the original approval. Therefore, no subsequent modification was required. The plan check set has since expired.

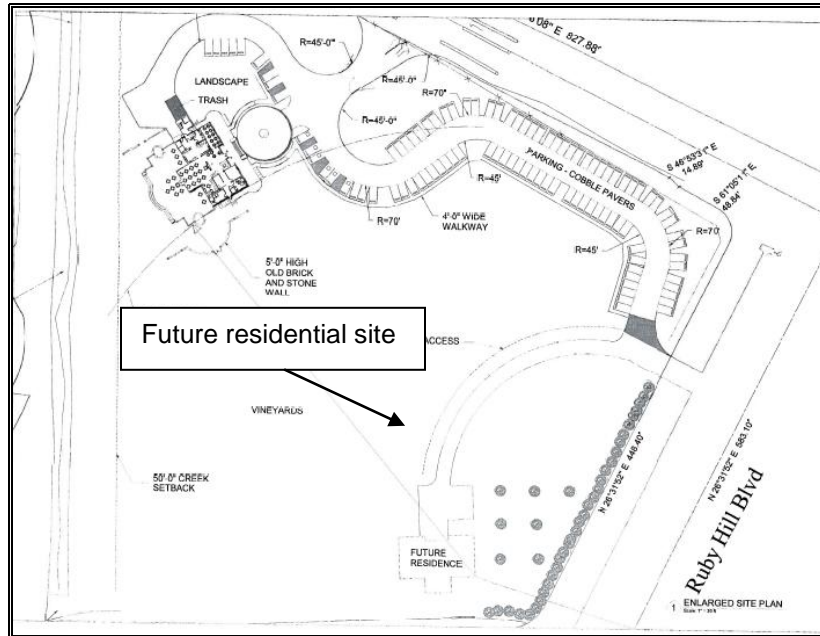
The following summarizes the differences between the PUD development plan approved in 2007, and the plan set (Exhibit B) attached to the October 12, 2011 staff report (the 2007 PUD development plan is referred to as the original plan, and the October 12, 2011 plan set is referred to as the revised plan). The plan sheets referenced below are from the revised plan). A copy of the 2007 PUD development plan is attached.

1. Sheet A-102: The Site for the future residence has been shifted westerly from the original plan set. The original plan showed that the future residence would be in a similar location as the existing sales office. The Google aerial map on the right shows the entire 36-acre site. However, of the 36 acres, only 2.5 acres are allowed for development. The remaining area is for agricultural, viticulture, etc. uses. The area where vineyards have been removed indicates the proposed restaurant development as well as the future residence site. Given the location of the existing homes on West Ruby Hill Drive, shifting the

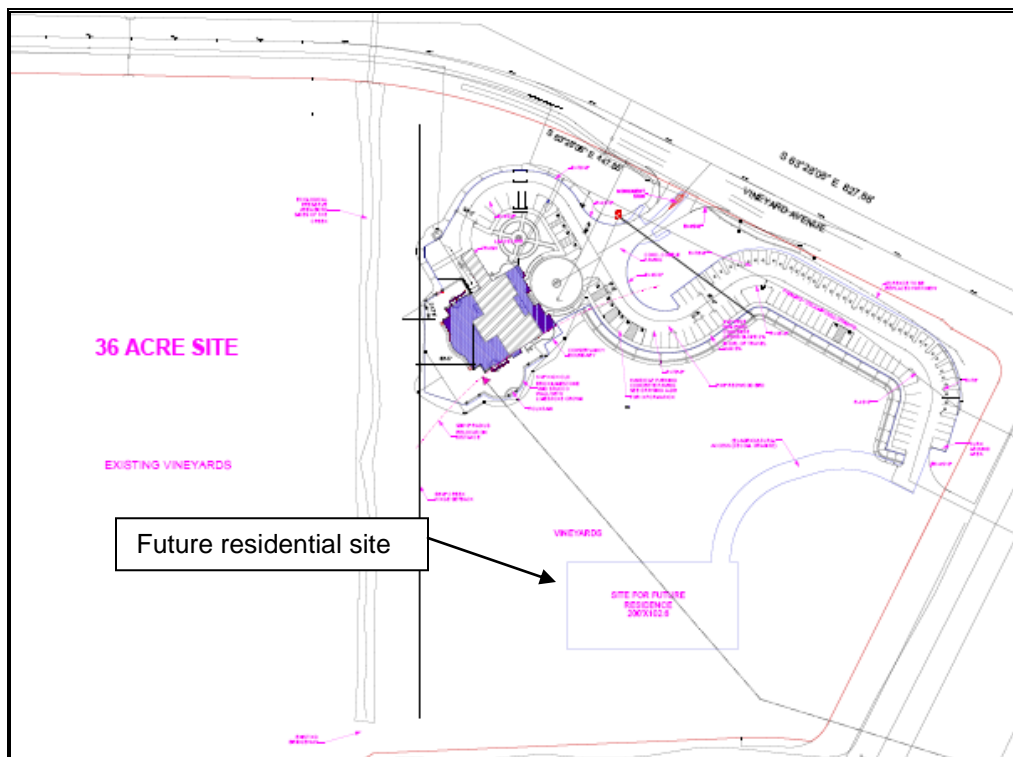


residence site northwesterly would increase the distance between the future home site and the existing residences. Staff finds that this adjustment is acceptable.

No changes to the landscape plan.

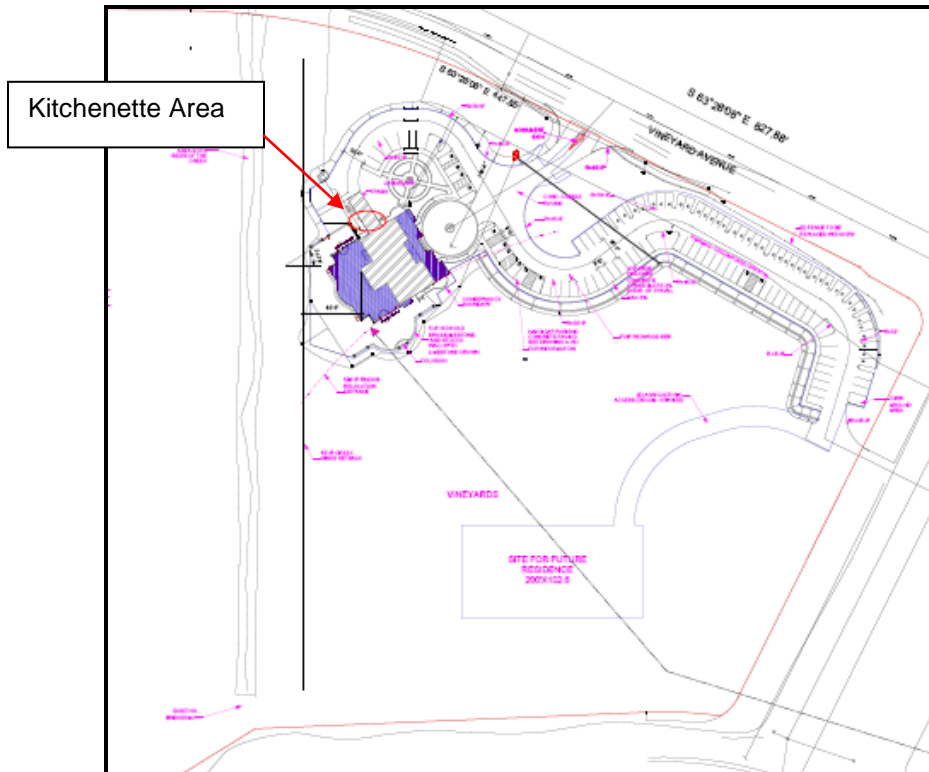


Original Plan



Revised Plan

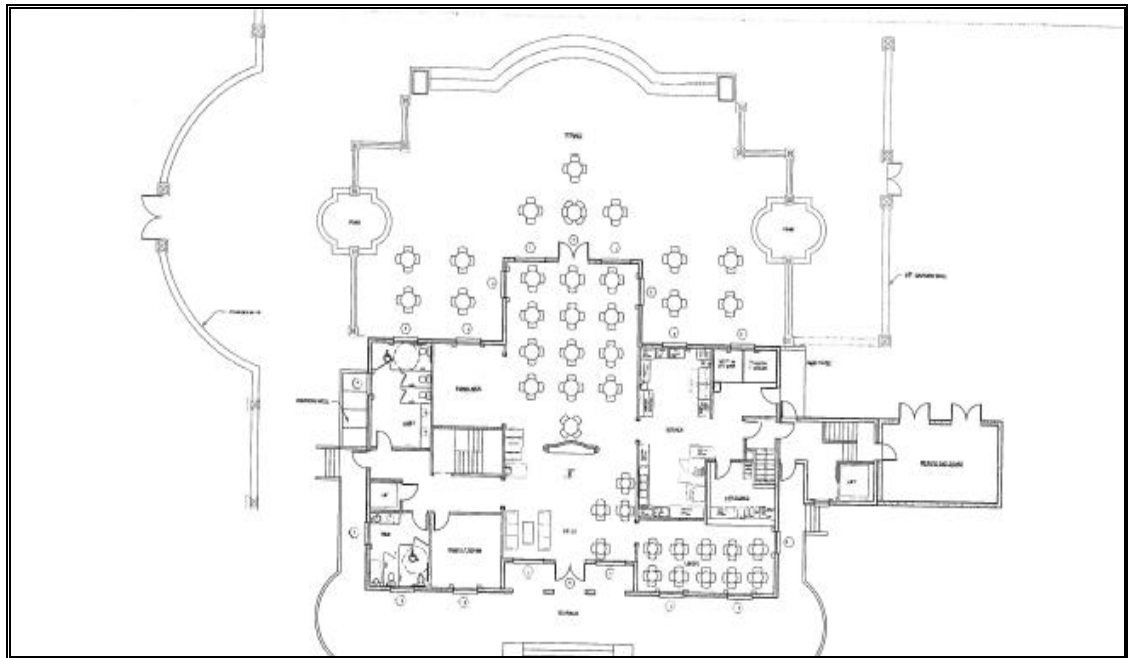




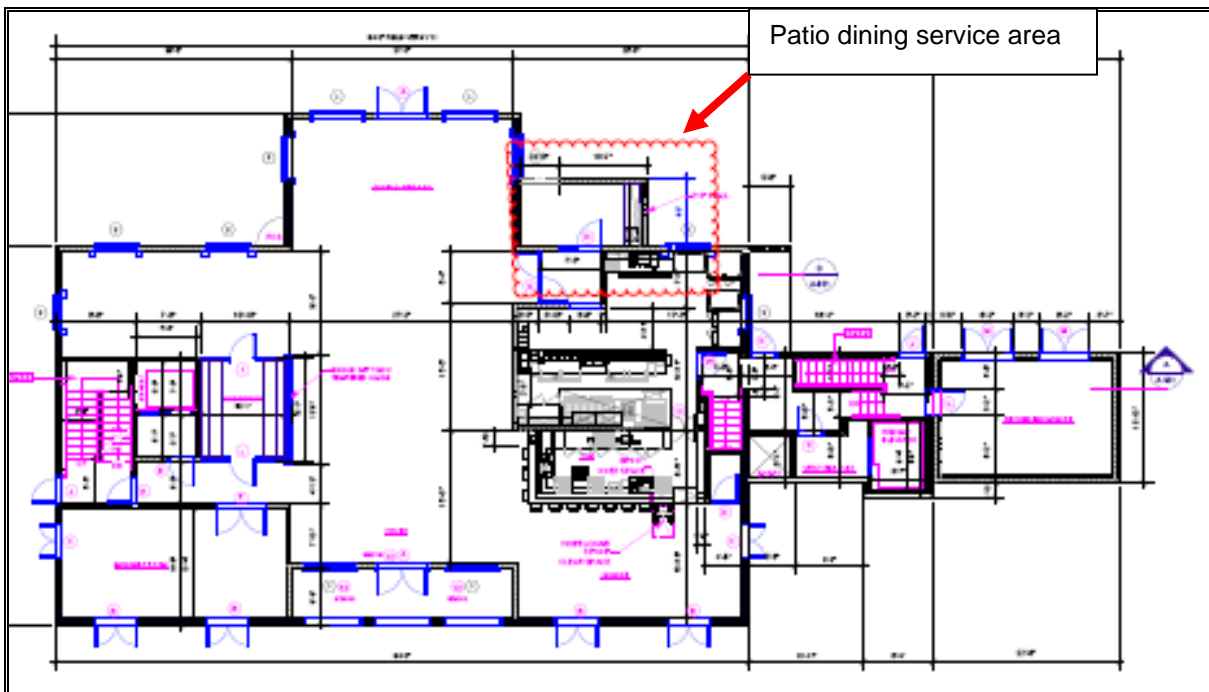
Revised Plan

Given the positioning of the proposed restaurant building (see partial site plan below), the added kitchenette area would not be very visible from Vineyard Avenue or from residential properties in Ruby Hill. Staff finds that the above revisions to be in substantial conformance with the original approval.

3. All three floor plans have been changed.
  - Main Floor: As the result of the added kitchenette area on the second floor, the flat deck area on the main floor now has a new set of stairs and a freight elevator. The layout of the dining areas was also changed. Stairs to the second floor and the basement area have been reconfigured; bathrooms were removed; the banquet room has been enlarged; the kitchen area has been reconfigured and a portion of it became a bar area. Additionally, a service station was added to the patio dining area. This service station is located on the right of the outdoor dining area screened by a seven-foot wall. Staff finds that the above revisions to be in substantial conformance with the original approval.

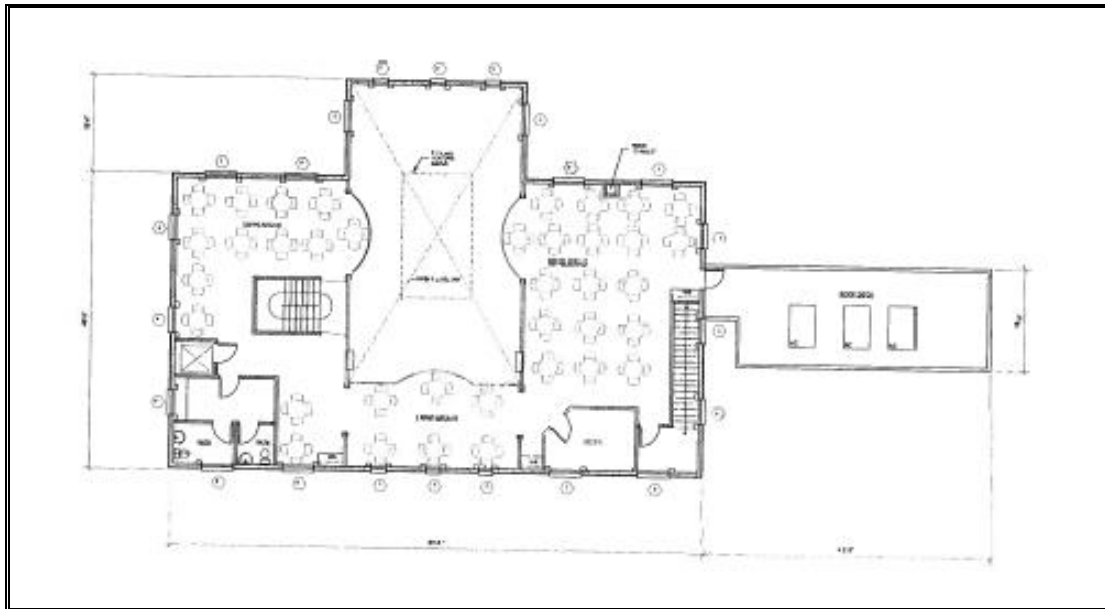


Original Plan

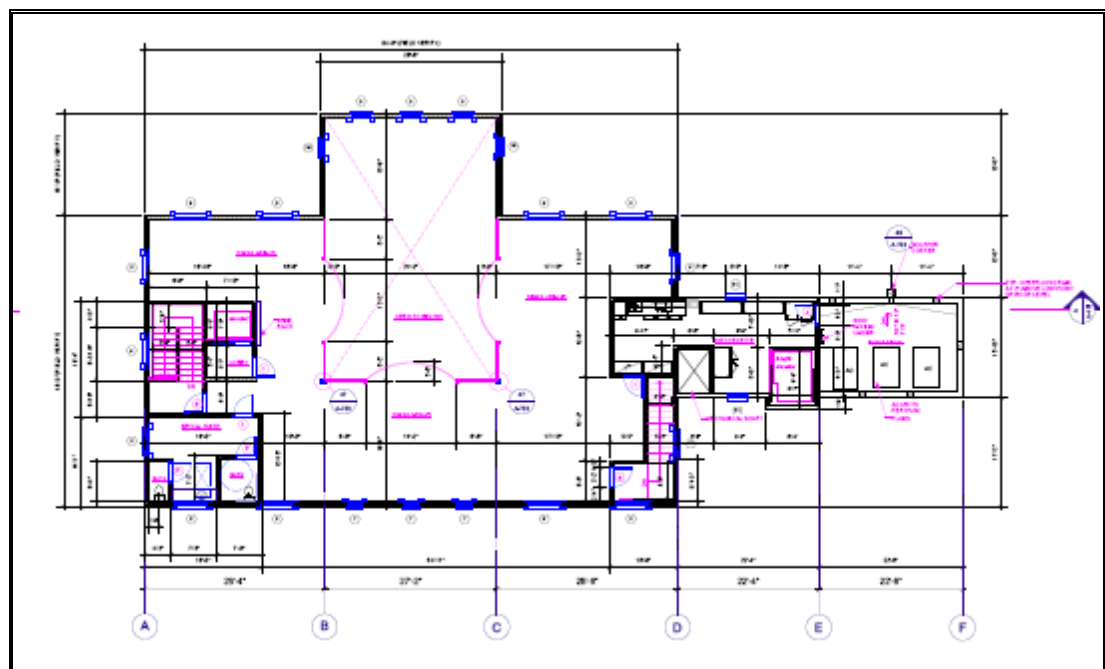


Revised Plan

- Second Floor: In addition to the kitchenette area, the staircases were reconfigured; the office area has become part of the dining room; the bathroom area has become a bridal suite; and an elevator and lobby area were added on the west side of the dining room. Staff finds that the above revisions to be in substantial conformance with the original approval.



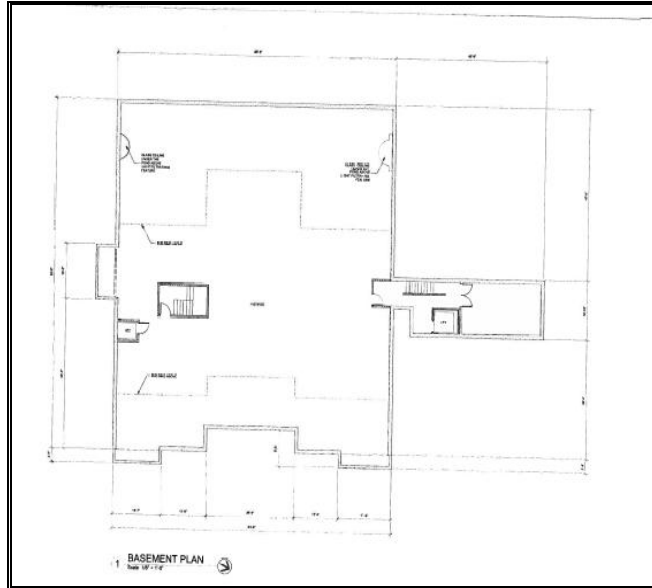
Original Plan



Revised Plan



- Basement: restaurant kitchen, bathrooms, wine cellar and an office are now located in the basement where it was a storage basement before. Staff finds that the above revisions to be in substantial conformance with the original approval.

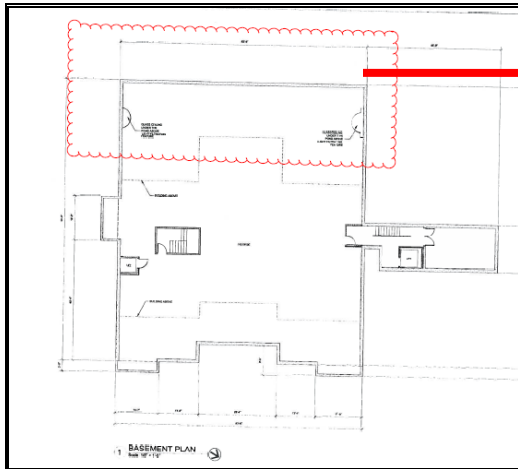


Original Plan

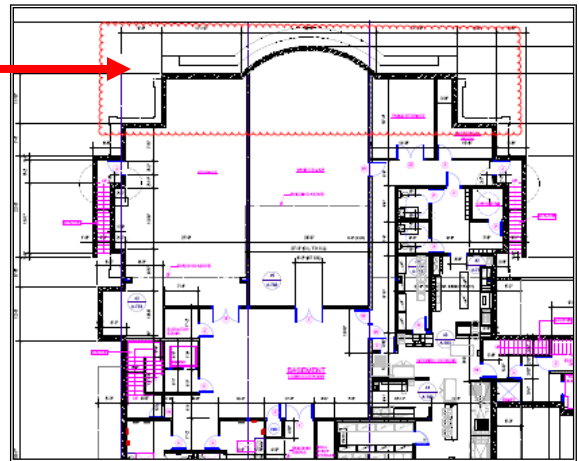


Revised Plan

Additionally, the basement area was enlarged by approximately 850 square feet. This enlargement took place in the back of the basement where the back retaining wall will be extended to be in an alignment with the building above. This revision was recommended by the project's structural engineer and was found to be necessary to hold the bearing weight of the building. Two exterior staircases were added on the right and left sides of the basement area. The top of the stairs daylight with the ground; thus, they are not "visible" except for the safety railings. Staff finds that the above revisions to be in substantial conformance with the original approval.



Original Plan

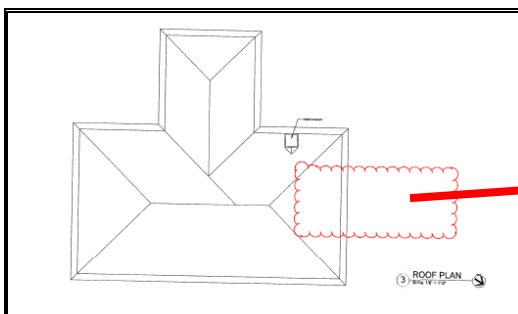


Revised Plan

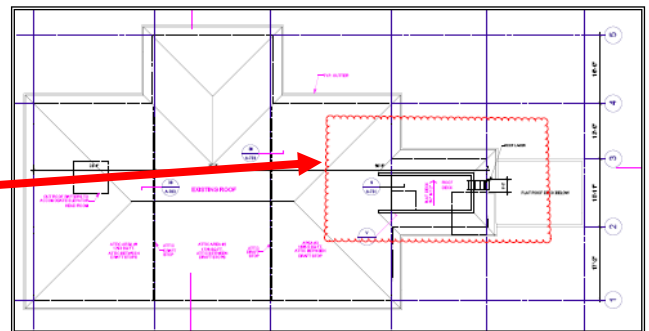
Staff notes that the change of the floor plans does not change the number of seats in the restaurant. The seating at the restaurant remains at 180 seats within the restaurant and 50 seats in the terrace area.

4. The kitchenette addition caused changes in the roof plan and building elevations.

Sheet A-303 (Roof Pan): The addition of the kitchenette area resulted in changes in building's roofline and building's elevations. Staff finds that the above revisions to be in substantial conformance with the original approval.

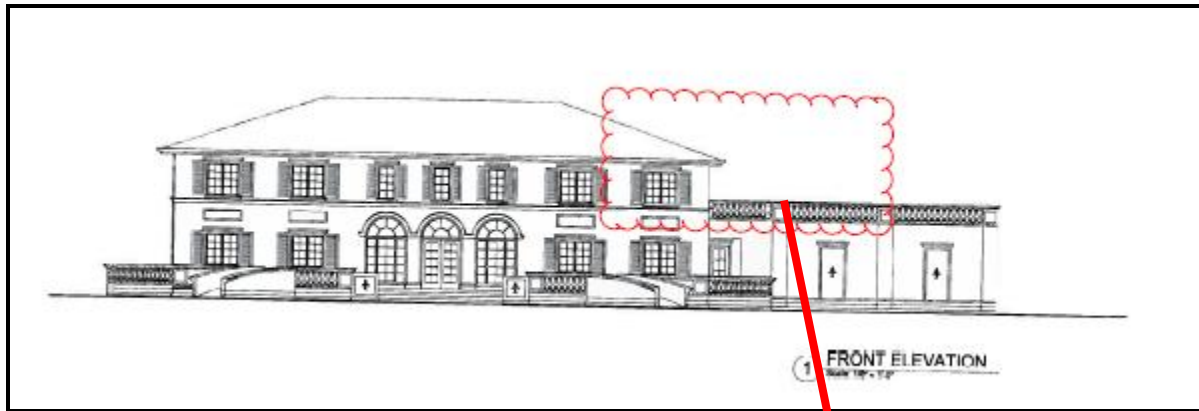


Original Plan

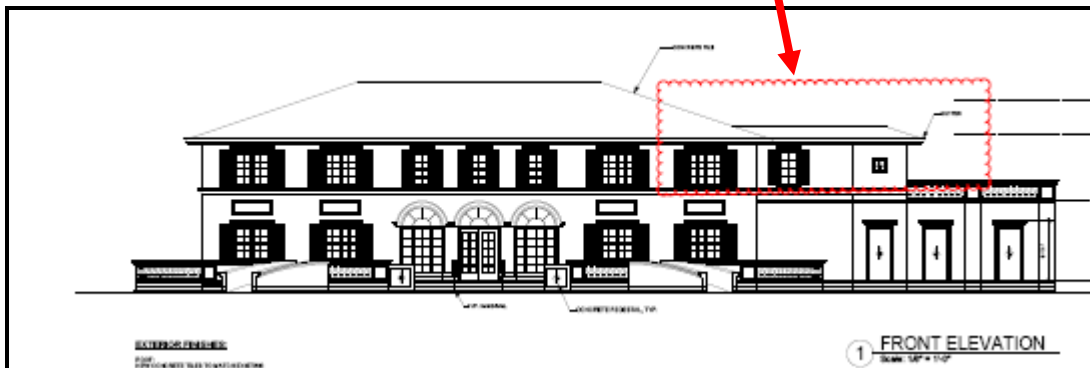


Revised Plan

Sheet A-401(Rear Elevation) and Sheet A-402 (Front and Right Elevations): The added kitchenette area caused changes in the front, right-side, and the rear elevations. The added building area includes a matching window with shutters, and a flat deck roof with similar roof pitch as the building. An exterior ladder was added on the right-side elevation to access the rooftop of the kitchenette area. Staff finds that the above revisions to be in substantial conformance with the original approval.



Original Plan



Revised Plan



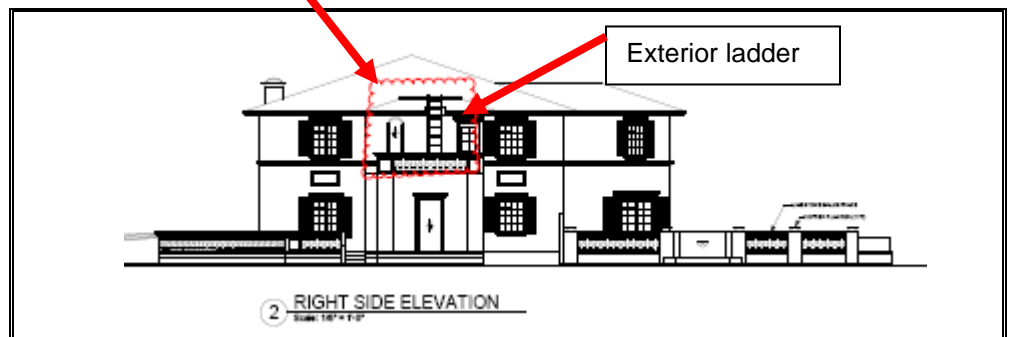
Original Plan



Revised Plan



Original Plan



Revised Plan

When the project was originally proposed in 2007, a group of Ruby Hill residents who live relatively close to the project site was actively involved in the proposed development, especially with the restaurant's location, design, and activities other than dining that may be hosted in the restaurant. With the revisions shown in the plan check set, both staff and the applicant contacted the lead person of the group and was informed that revisions are acceptable.



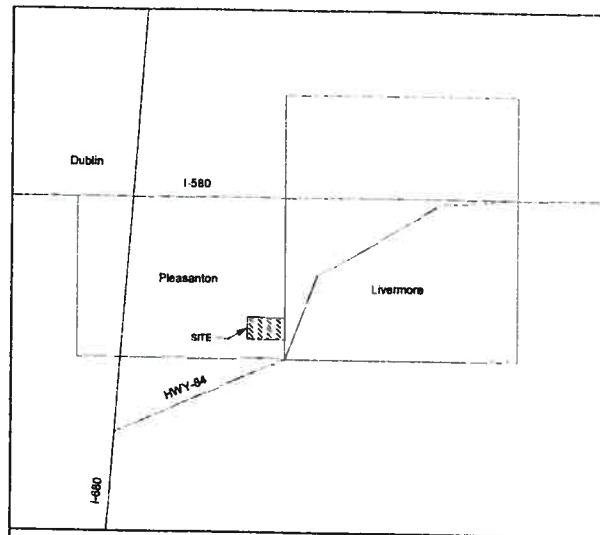
PUD-93-02-09 m  
RECEIVED

APR 20 2007

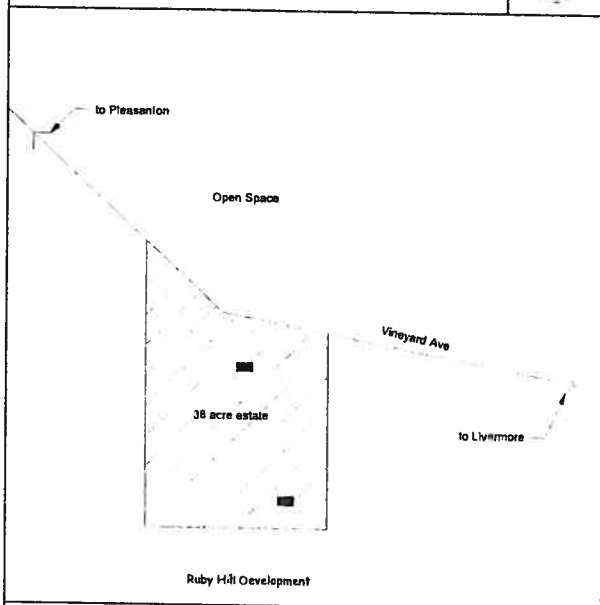
CITY OF PLEASANTON  
PLANNING DEPT

EXHIBIT 1

PCUP-182



LOCATION PLAN



VICINITY PLAN

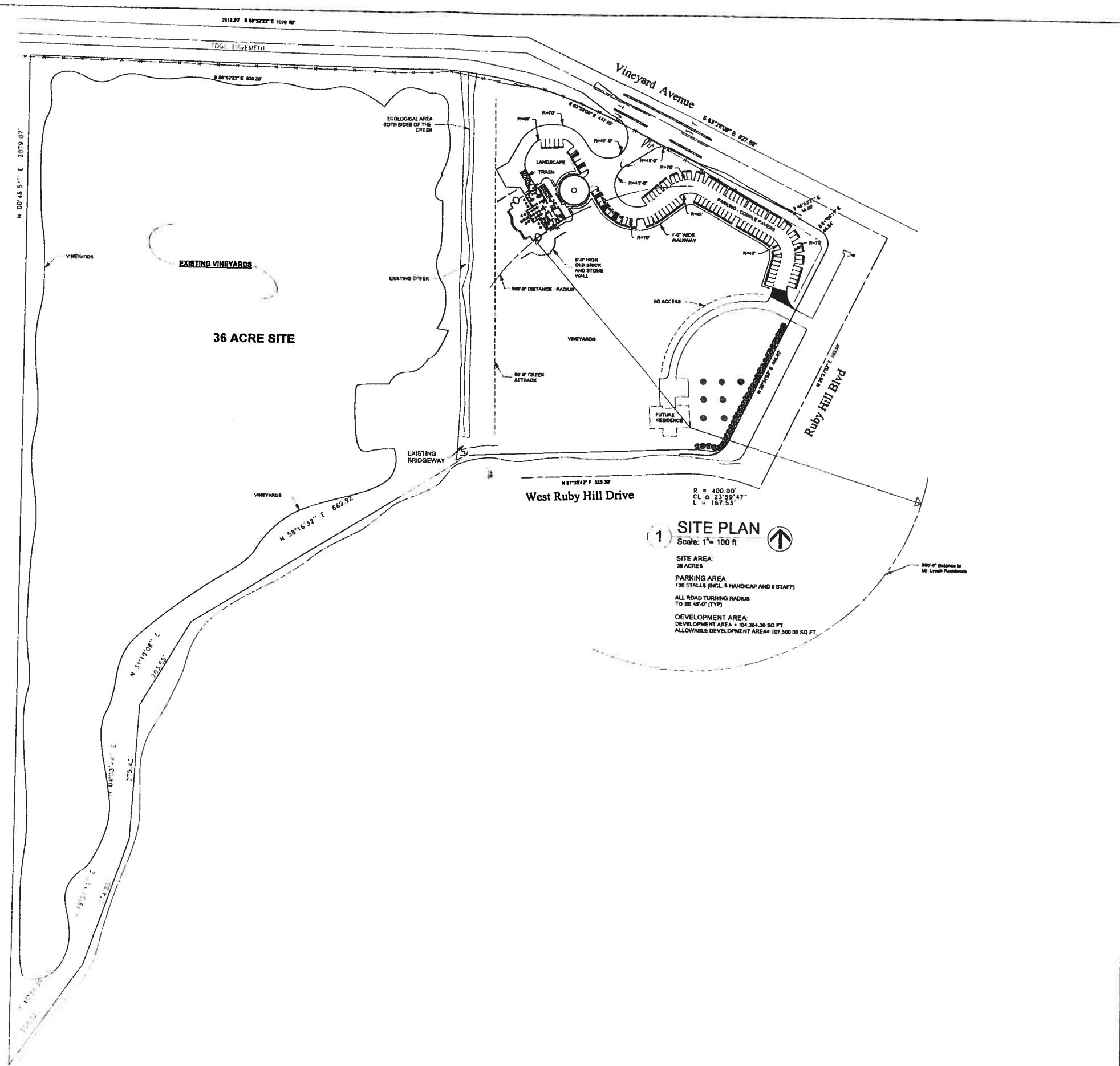
**OWNER**  
Barnabas Nagy  
Livermore, California

**SITE AREA**  
36 acres

**DEVELOPMENT AREA**  
2.5 Acres

**SCOPE OF WORK:**  
 Addition of the outdoor terraces in front of the building.  
 Addition of parking areas and driveways in full stone surface and cobble stone driveway.  
 Addition solid concrete/paved like cobble paver handicap parking and delivery areas.  
 Addition of landscape area around the parking and terrace.  
 Addition of the estate entrance gateway.  
 Addition of the fountain at the center of the driveway turn around in front of the restaurant.  
 Addition of vineyards adjacent to the restaurant terraces.  
 Addition of copper gutters to the existing building.  
 Addition of cobble paved access road with palm trees and cypress trees along.  
 Addition of the rear side terrace for wedding ceremony and flanked by the 5' 0" high brick and stone wall with trellis and vines.  
 Addition of the pathway between parking and vineyards.

DESIGN DATA



1 SITE PLAN  
Scale: 1" = 100 ft

**SITE AREA:**  
36 ACRES

**PARKING AREA:**  
100 STALLS (INCL. 8 HANDICAP AND 8 STAFF)

**ALL ROAD TURNING RADIUS:**  
TO BE 45'-0" (TYP)

**DEVELOPMENT AREA:**  
DEVELOPMENT AREA = 104,384.30 SQ FT  
ALLOWABLE DEVELOPMENT AREA = 107,500.00 SQ FT

revisions:	

**MARK STOKLOSA ARCHITECT INC**

410 SAINT JOHN ST  
SUITE 220  
PLEASANTON, CA 94566  
925 484 7084  
925 484 9117 FAX

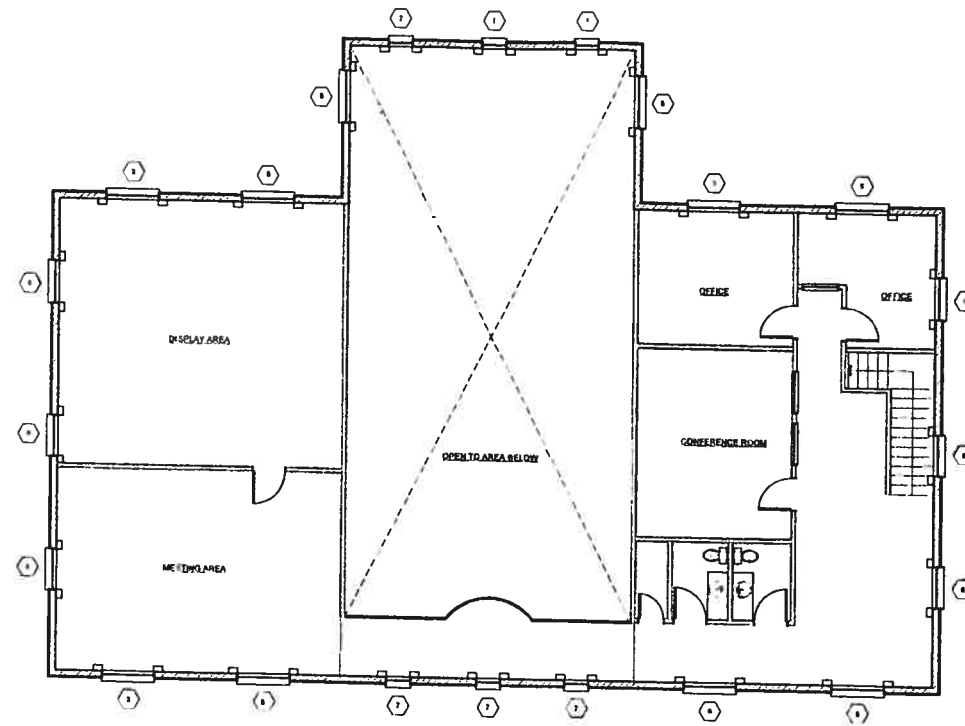
LILJOM FINE DINING CUISINE RESTAURANT AT 36 ACRE SITE,  
VINEYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

SITE PLAN
DATE: 4-15-07
SCALE: 1" = 100'-0"
DRAWN BY: MS
PROJECT #: 07-015
DRAWING #
A-101

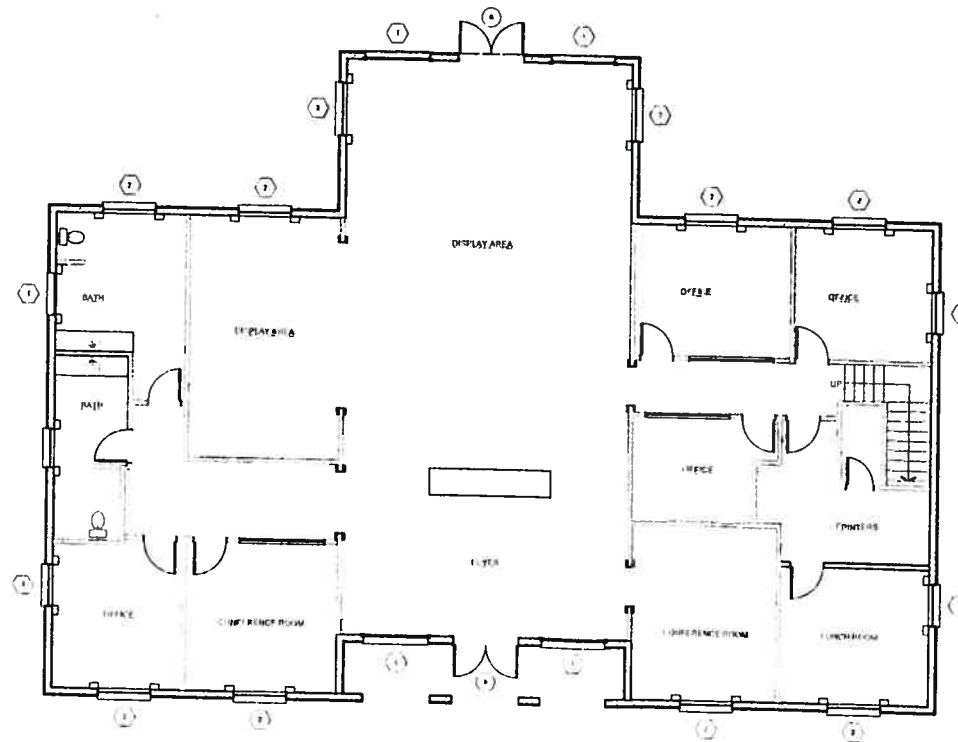








2 2ND FLOOR PLAN  
Scale: 1/8" = 1'-0"



1 MAIN FLOOR PLAN  
Scale: 1/8" = 1'-0"  
4111.50 FT

MARK  
STOKLOSA  
ARCHITECT  
INC

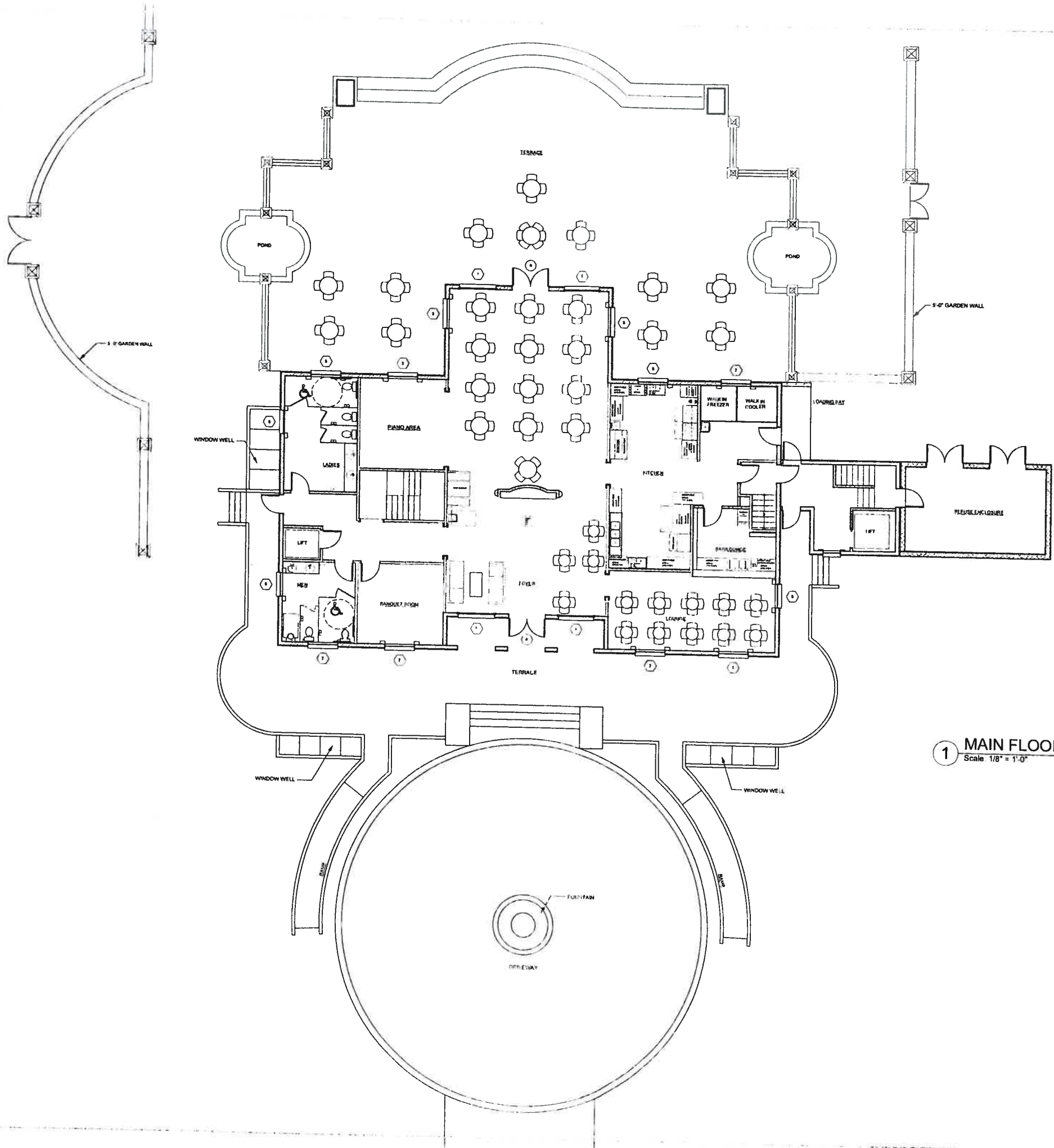
480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON CA 94588  
925 484 2004  
925 484 9817 FAX

LILJOM FINE DINING CUISINE RESTAURANT AT 36 ACRE SITE,  
VINEYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

EXISTING FLOOR PLANS

DATE 4-15-07  
SCALE 1/8"=1'-0"  
DRAWN BY MS  
PROJECT # 07-015  
DRAWING #

A-201



**1 MAIN FLOOR PLAN**  
Scale 1/8" = 1'-0"

NO.	DESCRIPTION	DATE

**MARK STOKLOSA ARCHITECT INC**

480 BAYT JOHN ST.  
SUITE 220  
PLEASANTON, CA 94566  
925-484-2984  
925-484-8677 FAX

LILJOM FINE DINING CUISINE RESTAURANT AT 36 ACRE SITE,  
VINYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

MAIN FLOOR PLAN

DATE 1-6-07

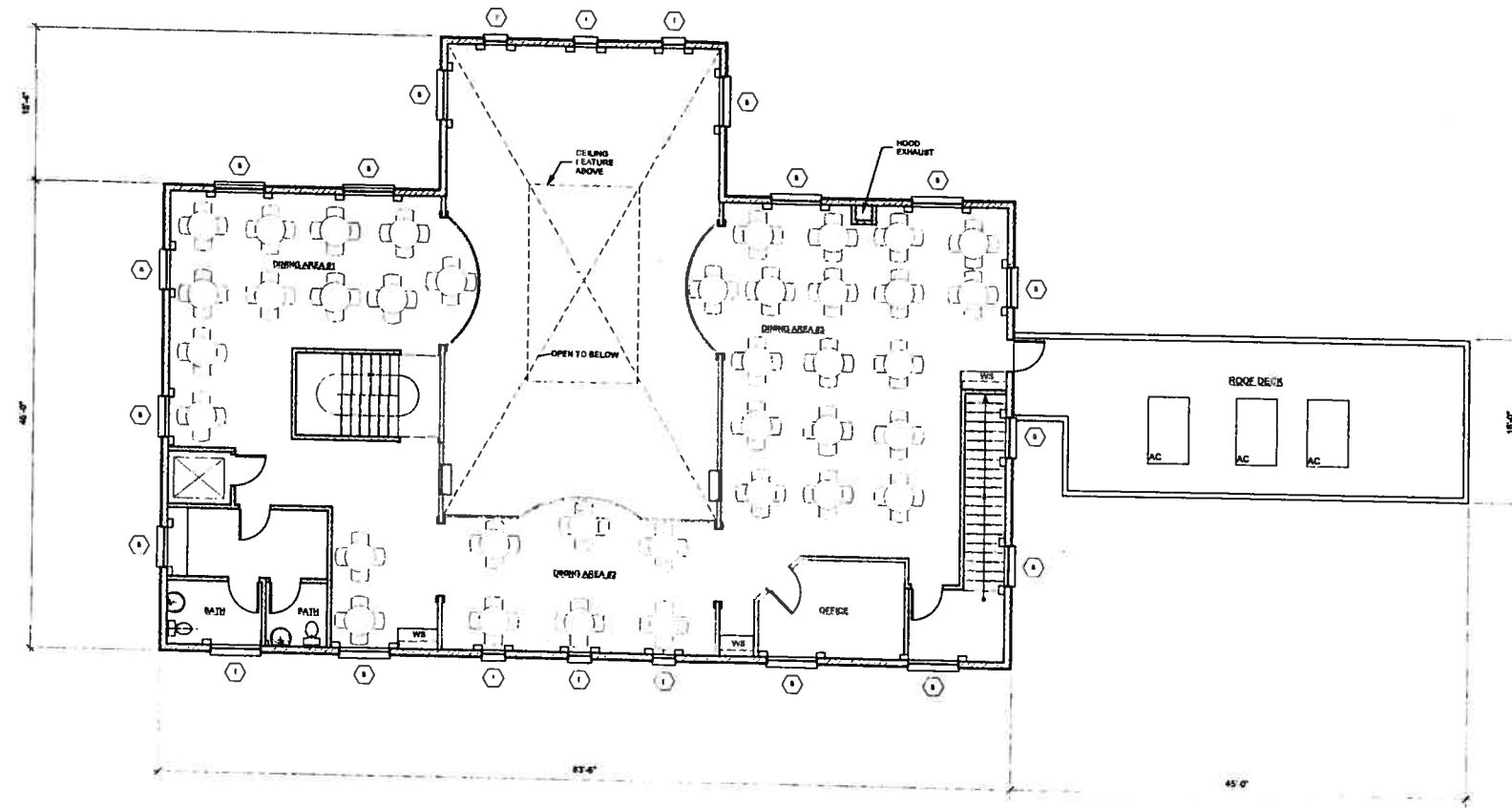
SCALE 1/8" = 1'-0"

DRAWN BY MS

PROJECT # 155 102

DRAWING #

A-301



2 2ND FLOOR PLAN  
Scale: 1/8" = 1'-0"

REVISIONS

MARK  
STOKLOSA  
ARCHITECT  
INC

400 SAINT JOHN ST.  
SUITE 220  
PLEASANTON, CA 94588  
925 464 2964  
925 464 6917 FAX

LILJOM FINE DINING CUISINE RESTAURANT AT 36 ACRE SITE  
VINEYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

SECOND FLOOR PLAN

DATE 2-6-07

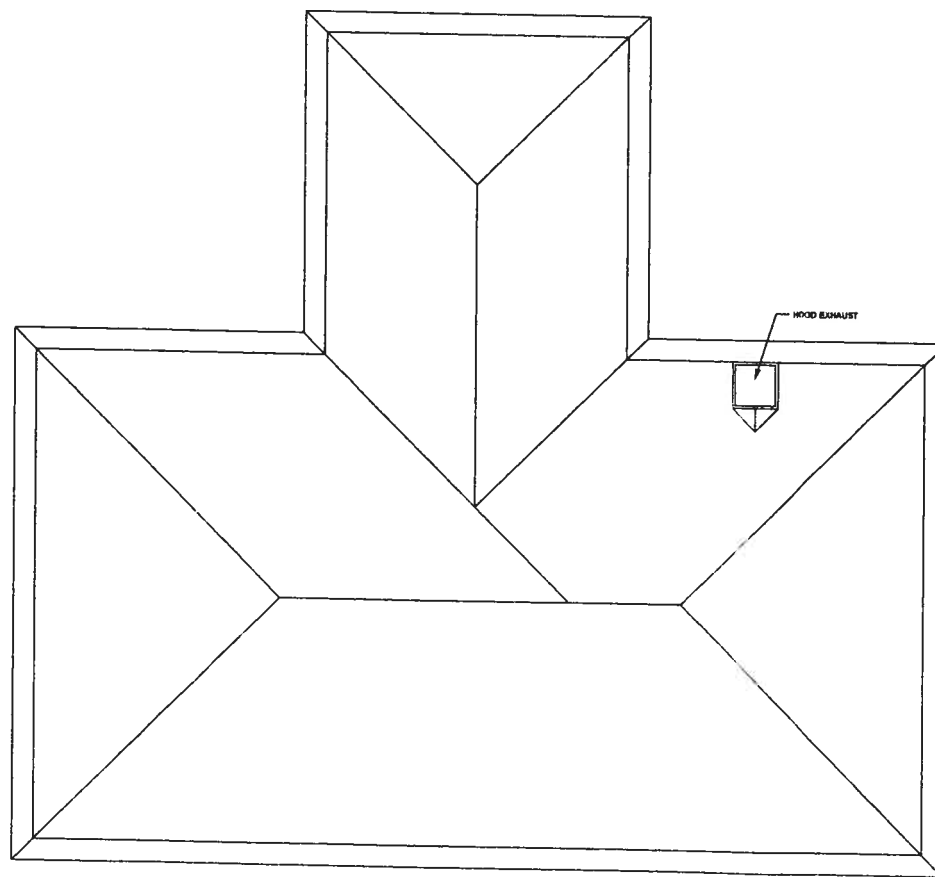
SCALE 1/8" = 1'-0"


DRAWN BY MS

PROJECT # 07 001

DRAWING #

A-302



3 ROOF PLAN  
 Scale: 1/8" = 1'-0" 

MARK  
 STOKLOSA  
 ARCHITECT  
 INC

480 SAINT JOHN STREET  
 SUITE 220  
 PLEASANTON, CA 94566  
 925 484 2384  
 925 484 8177 FAX

LILJOM FINE CUISINE RESTAURANT AT 36 ACRE SITE,  
 VINEYARD AVE., PLEASANTON, CALIFORNIA  
 FOR BARNABAS NAGY

ROOF PLAN

DATE: 8-15-07

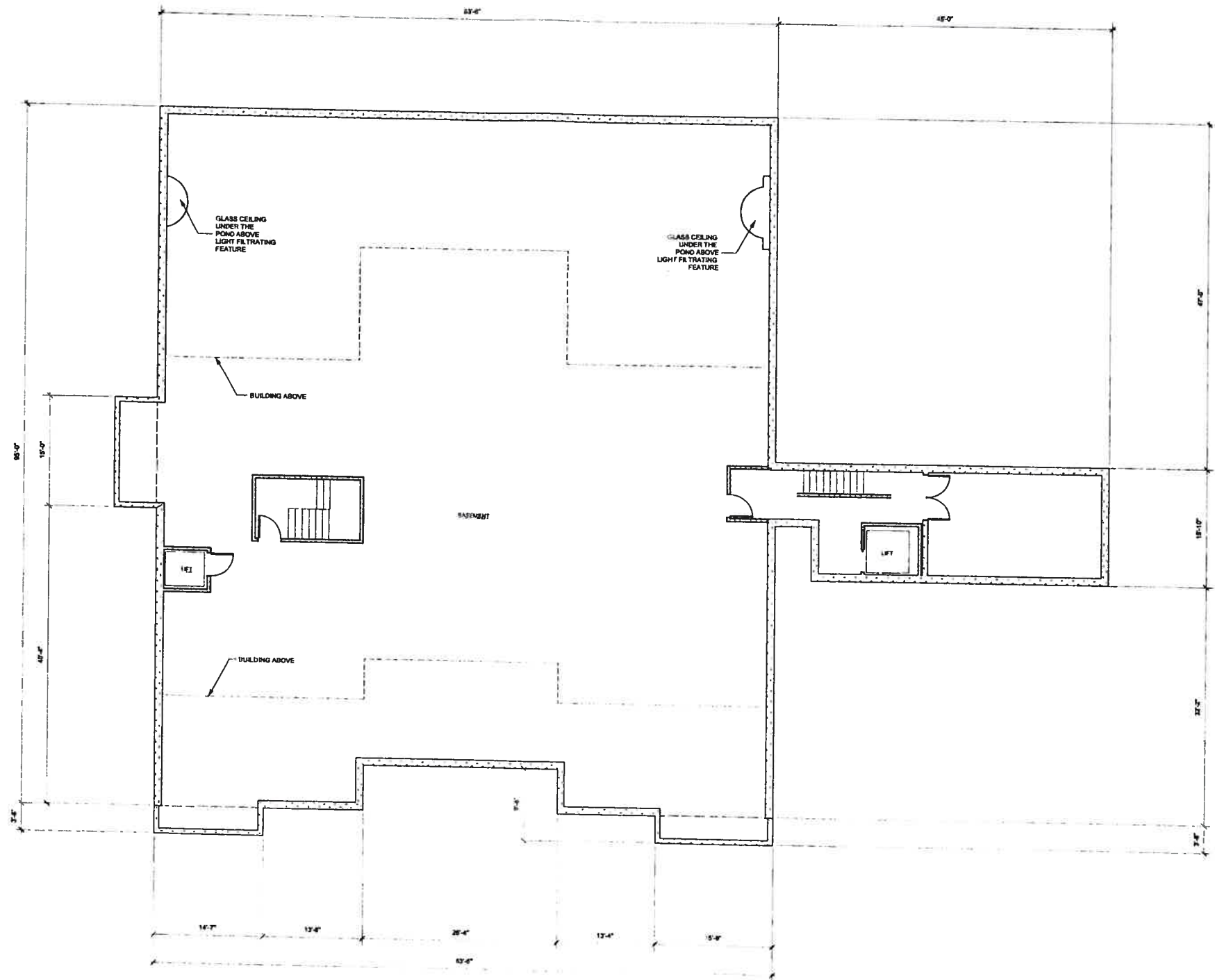
SCALE: 1/8" = 1'-0"

DRAWN BY: MS

PROJECT #: 07-115

DRAWING #

A-303



**1 BASEMENT PLAN**  
 Scale: 1/8" = 1'-0"

- BASEMENT AREA:**
- 1 STORAGE
  - 2 KITCHEN AUXILIARY FUNCTIONS
  - 3 OFFICES FOR THE RESTAURANT
  - 4 WINE CELLAR


REVISIONS

**MARK STOKLOSA ARCHITECT INC**

480 SAINT JOHN ST.  
 SUITE 220  
 PLEASANTON, CA 94588  
 925 464 2864  
 925 464 5511 FAX

LILJOM FINE DINING RESTAURANT AT 36 ACRE SITE,  
 VINEYARD AVE, PLEASANTON CALIFORNIA  
 FOR BARNABAS NAGY

BASEMENT PLAN

DATE 8-15-07

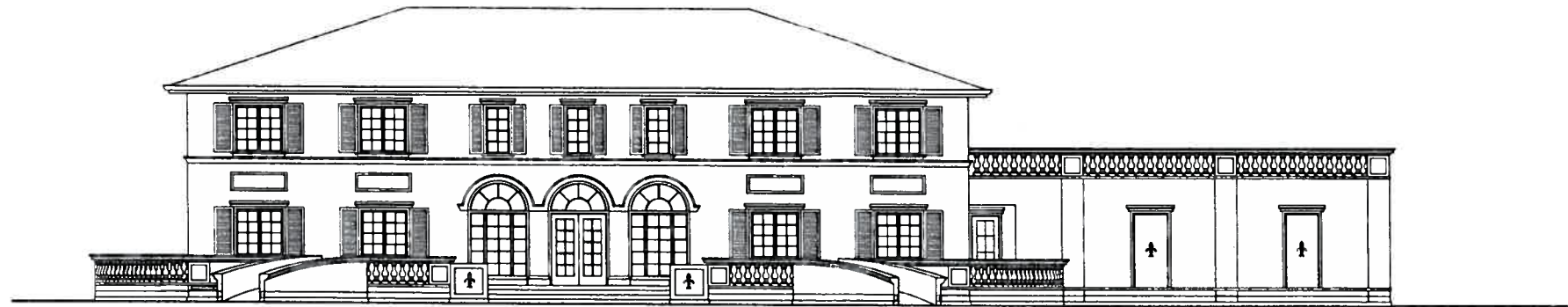
SCALE 1/8" = 1'-0"

DRAWN BY MS

PROJECT # 07 015

DRAWING #

A-304



1 FRONT ELEVATION  
Scale: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION  
Scale: 1/8" = 1'-0"

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 200  
PLEASANTON, CA 94566  
925 484 2784  
925 484 9117 FAX

LILJOM FINE DINING RESTAURANT AT 36 ACRE SITE,  
VINYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

ELEVATIONS

DATE 4-15-07

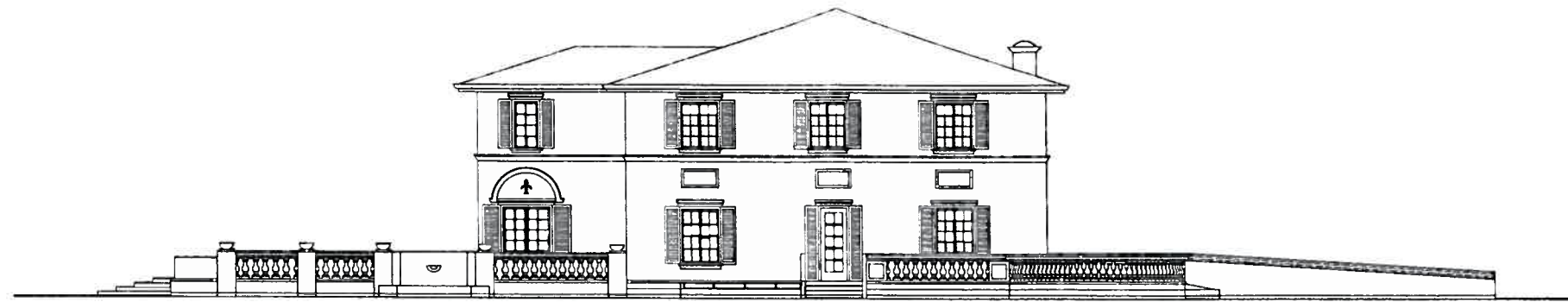
SCALE 1/8" = 1'-0"

DRAWN BY MS

PROJECT # 07-015

DRAWING #

A-401



3 LEFT SIDE ELEVATION  
Scale: 1/8" = 1'-0"



4 REAR ELEVATION  
Scale: 1/8" = 1'-0"

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 226  
PLEASANTON CA 94508  
925 484 2824  
925 484 0617 FAX

LILJOM FINE DINING RESTAURANT AT 36 ACRE SITE,  
VINEYARD AVENUE, PLEASANTON CALIFORNIA  
FOR BARNABAS NAGY

ELEVATIONS

DATE 4-15-07

SCALE 1/8" = 1'-0"

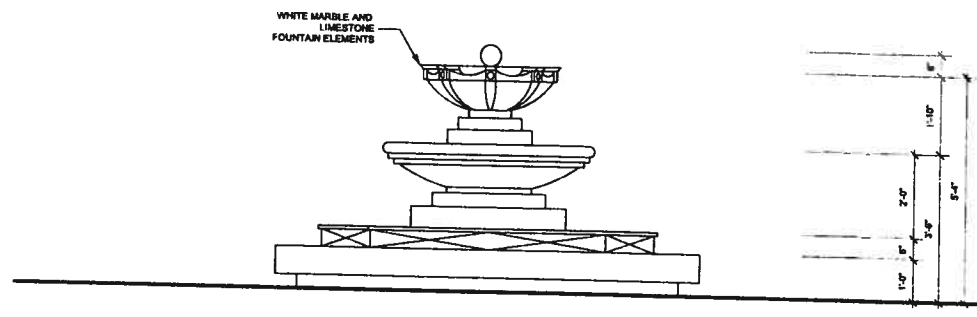
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PROJECT # 07-015

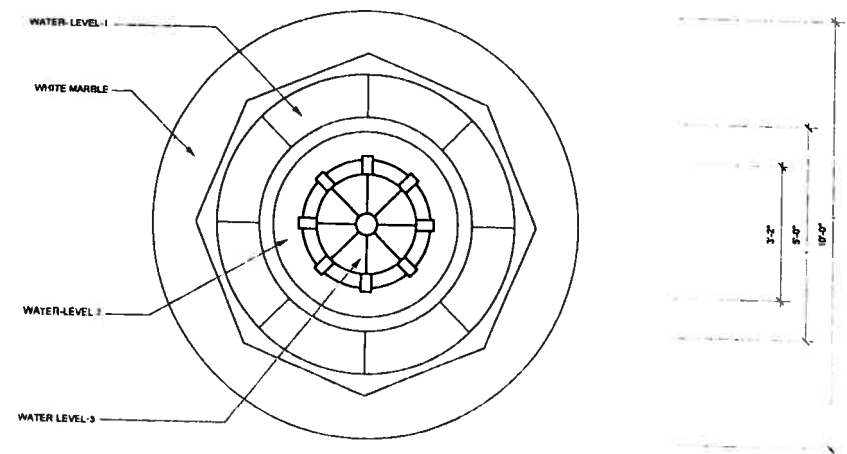
DRAWING #

A-402

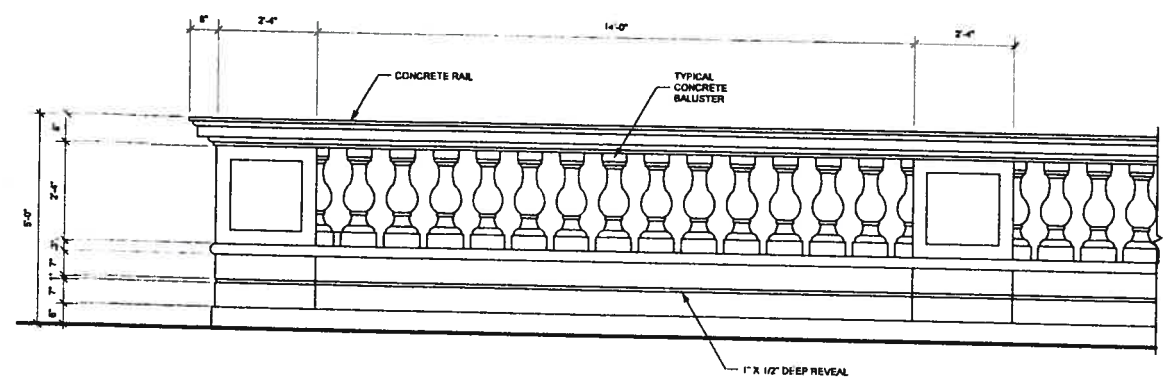




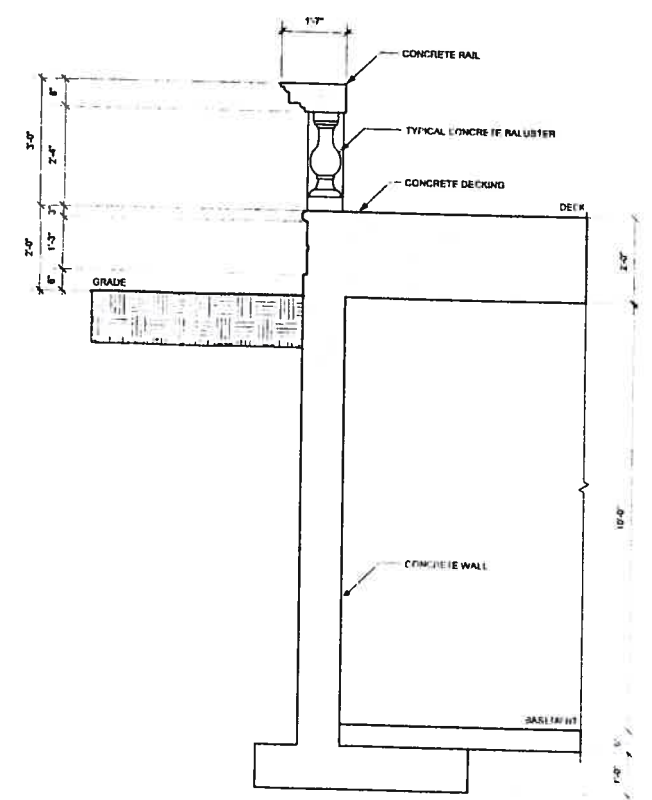
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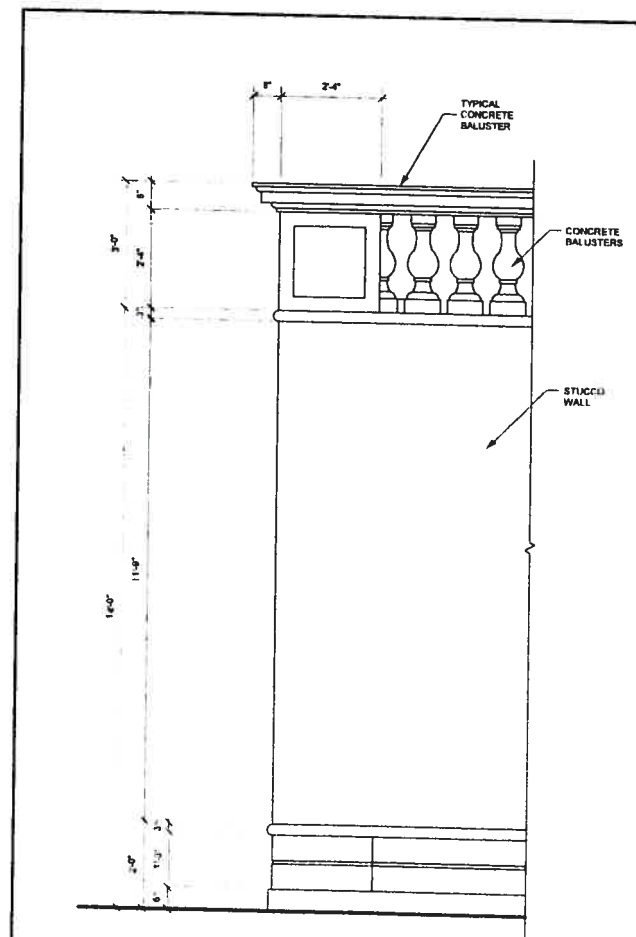
2 PLAN  
Scale: 1/2" = 1'-0"



1 LILIOM DETAILS.mcd  
Scale: 1/2" = 1'-0"



2 LILIOM DETAILS.mcd  
Scale: 1/2" = 1'-0"



1 ROOF DECK RAILING  
Scale: 1/2" = 1'-0"

MARK STOKLOSA ARCHITECT INC

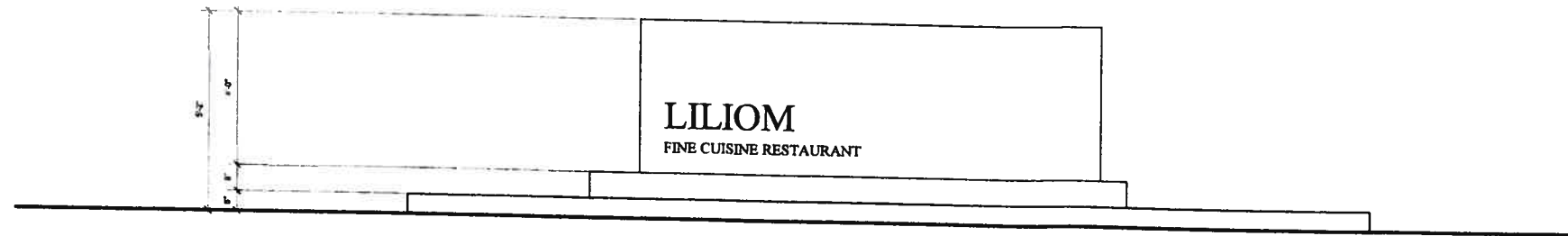
400 SAINT JOHN STREET  
SUITE 720  
PLEASANTON, CA 94566  
925 484 2004  
925 484 8117 FAX

LILIOM FINE DINING CUISINE RESTAURANT AT 36 ACRE SITE,  
VINEYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

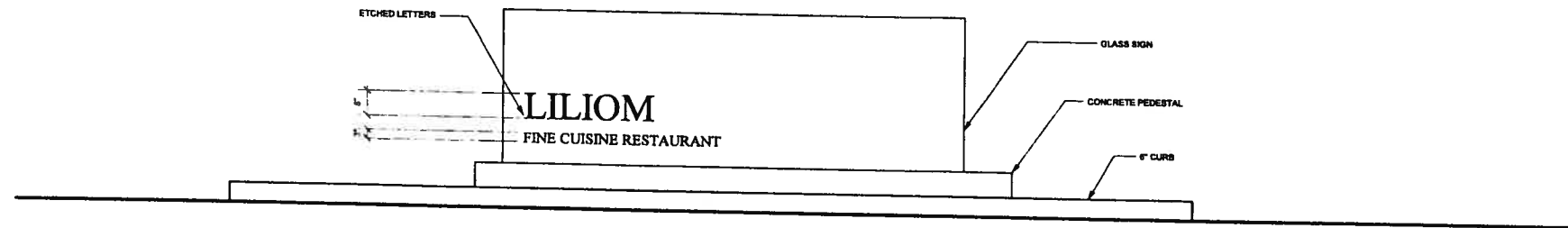
DETAILS

DATE: 4-15-17  
SCALE: 1/2" = 1'-0"  
DRAWN BY: LIS  
PROJECT #: 17-015  
DRAWING #

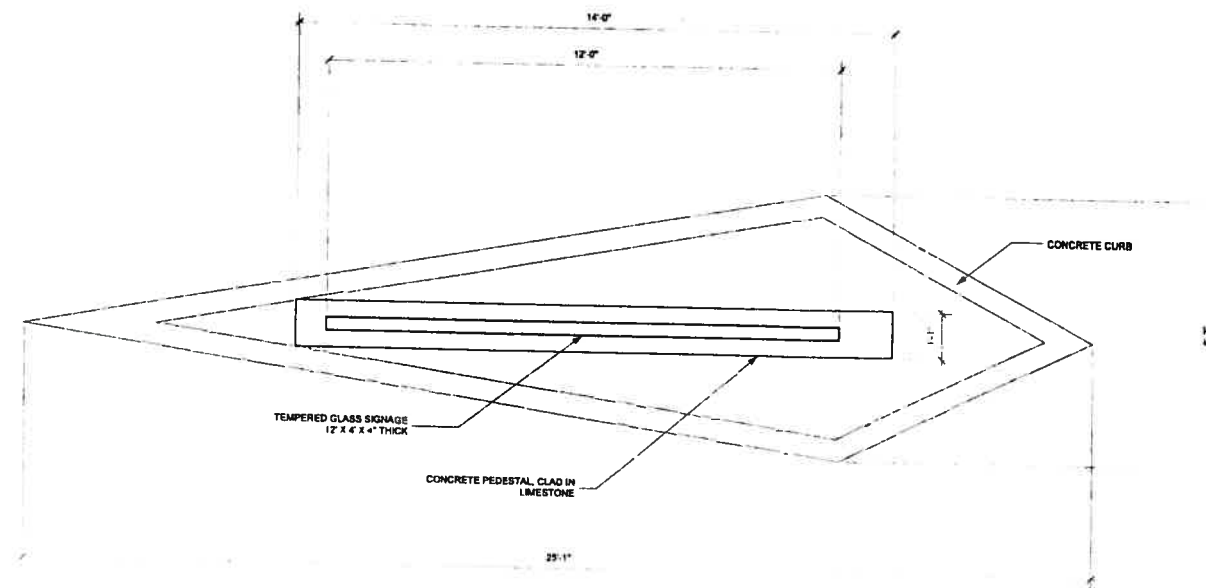
A-501



1 WEST ELEVATION  
Scale: 1/2" = 1'-0"



2 EAST ELEVATION  
Scale: 1/2" = 1'-0"



3 SIGN PLAN  
Scale: 1/2" = 1'-0"

MARK  
STOKLOSA  
ARCHITECT  
INC

400 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94601  
925-484-2504  
925-484-8817 FAX

LILIOM FINE DINING RESTAURANT AT 36 ACRE SITE,  
VINYARDS AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

FRONT SIGN

DATE 4-15-07

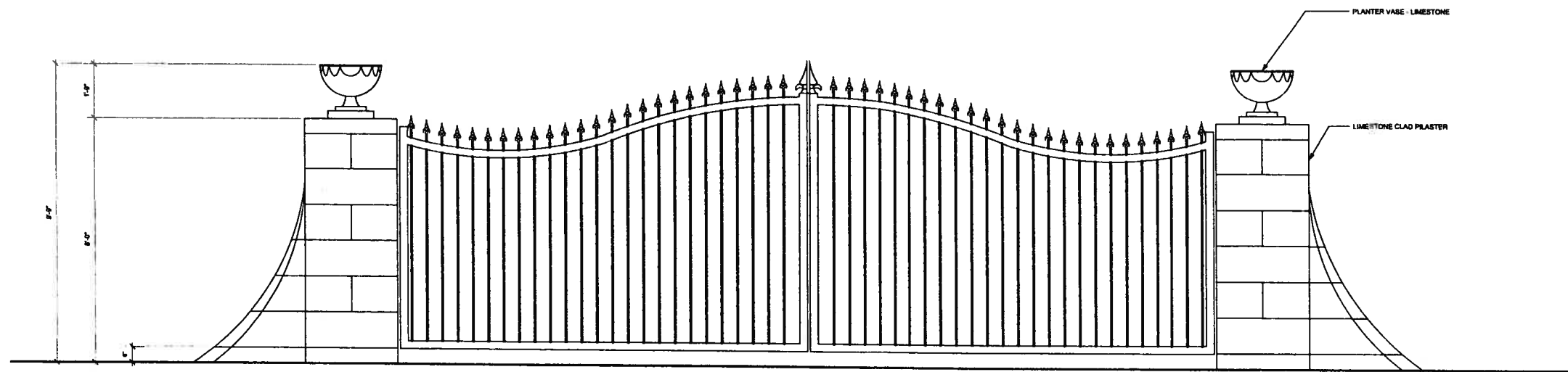
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DRAWN BY MS

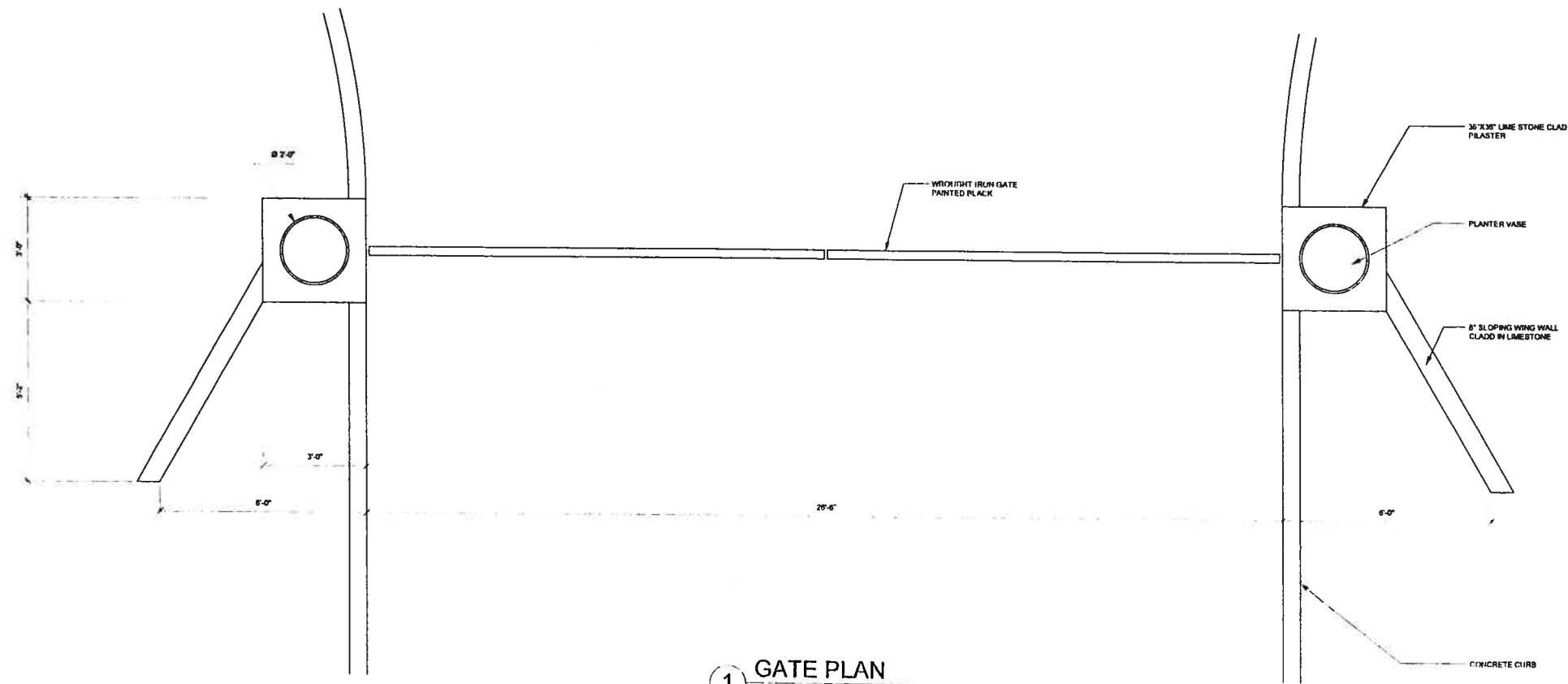
PROJECT # 07-015

UPDATING #

A-601



2 GATE ELEVATION  
Scale: 1/2" = 1'-0"



1 GATE PLAN  
Scale: 1/2" = 1'-0"

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 220  
PLEASANTON, CA 94588  
925 464 2896  
925 464 9817 FAX

LILJOM FINE DINE CUISINE RESTAURANT  
VINEYARD AVENUE, PLEASANTON CALIFORNIA  
FOR BARNABAS NAGY

ENTRANCE GATE

DATE 4-18-07

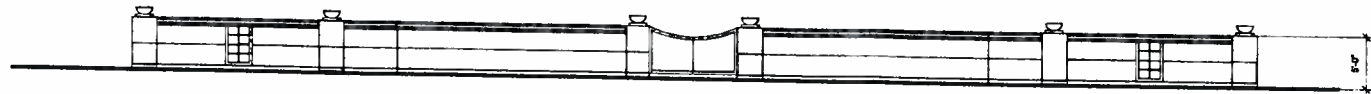
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DRAWN BY MB

PROJECT # 07-018

DRAWING #

A-701



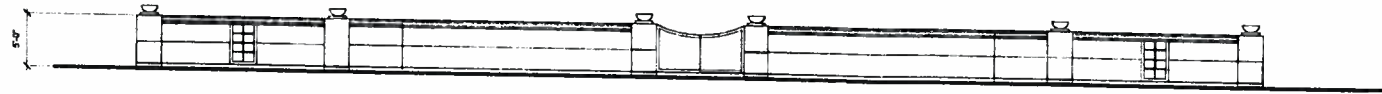
① EAST ELEVATION  
Scale: 1/8" = 1'-0"



② NORTH ELEVATION  
Scale: 1/8" = 1'-0"



③ SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



④ WEST ELEVATION  
Scale: 1/8" = 1'-0"

MARK  
STOKLOSA  
ARCHITECT  
INC

480 SAINT JOHN STREET  
SUITE 201  
PLEASANTON CA 94568  
925 484 2884  
925 484 9817 FAX

LILJOM FINE CUISINE RESTAURANT AT 36 ACRE  
VINEYARD AVENUE, PLEASANTON, CALIFORNIA  
FOR BARNABAS NAGY

GARDEN WALL

DATE	1.15.04
SCALE	1/8" = 1'-0"
DRAWN BY	MS
PROJECT #	07-005

A-801

3-50'-0" CREEK STRUCK

SEE SHEET L2.0  
SEE SHEET L3.0

SEE SHEET L2.0  
SEE SHEET L3.0

5'-6" VERT. E.  
40'-0"

5'-6" VERT. E.  
40'-0"

11'-2" VERT. E.  
40'-0"

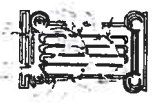
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SCALE 1" = 30'-0"

JOHN MONTGOMERY LANDSCAPE ARCHITECTS COPY-RIGHT 2007

REVISIONS		
DATE	DESCRIPTION	BY

CLIENT INFORMATION  
**LILJOM RESTAURANT**  
 ARPAD & BARNABAS NAGY  
 2001 RUBY HILLS BLVD  
 LIVERMORE, CA 94550

**JOHN MONTGOMERY**  
 LANDSCAPE ARCHITECTS  
 GARDEN ARCHITECTURE  
 P.O. BOX 615 • ALAMO, CA • 94507  
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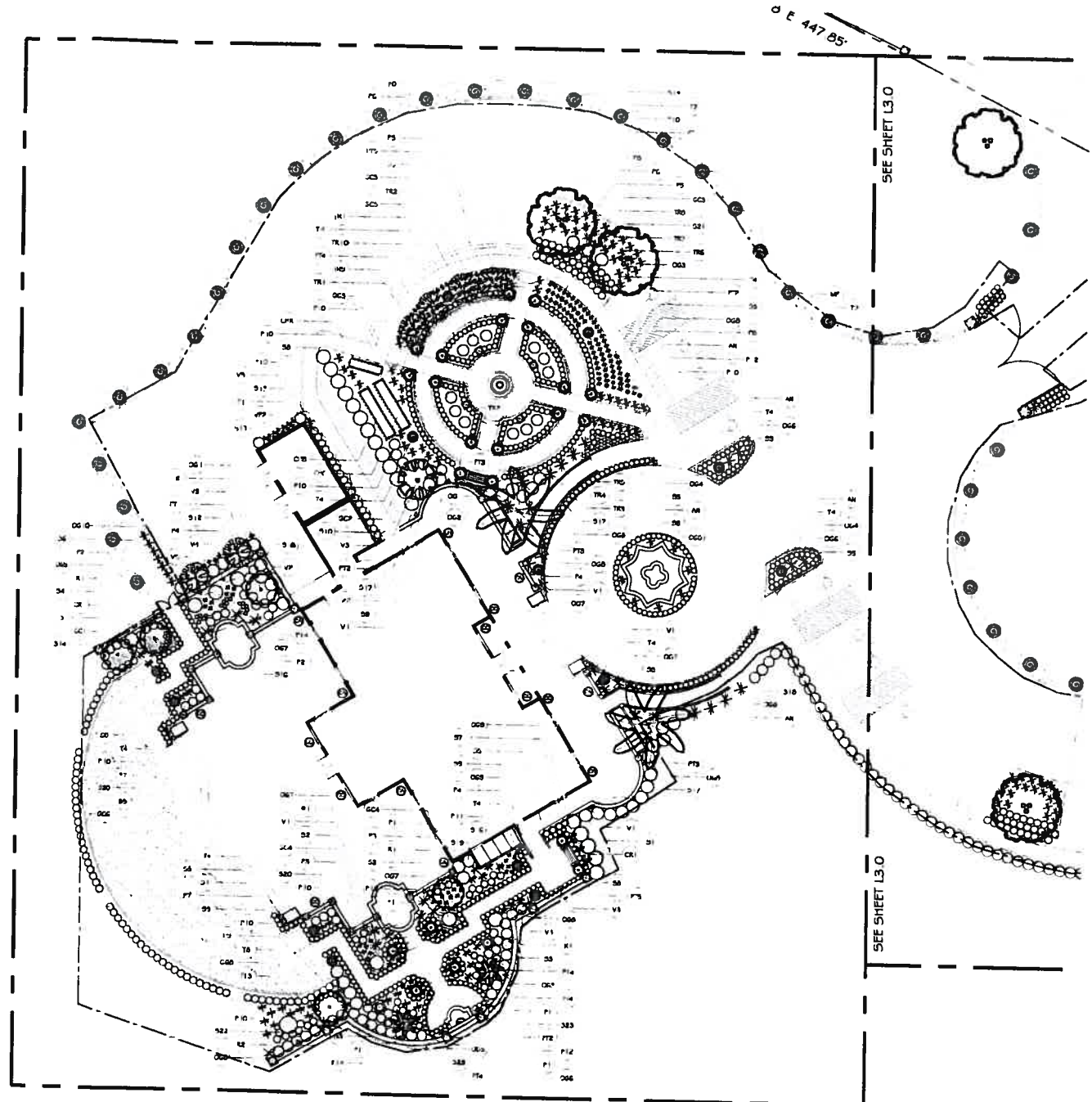
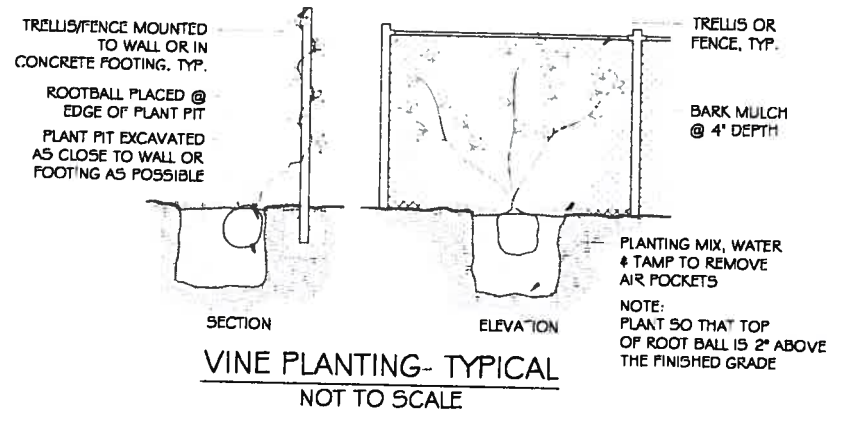
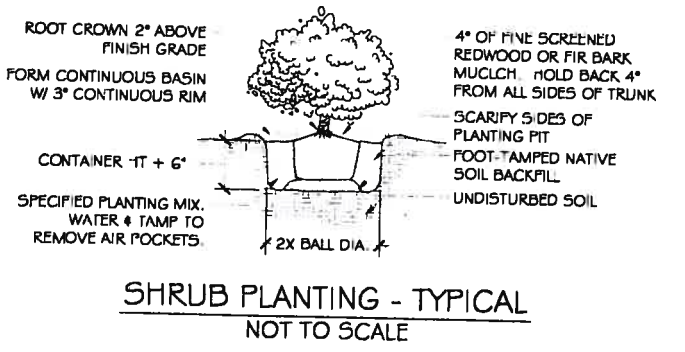
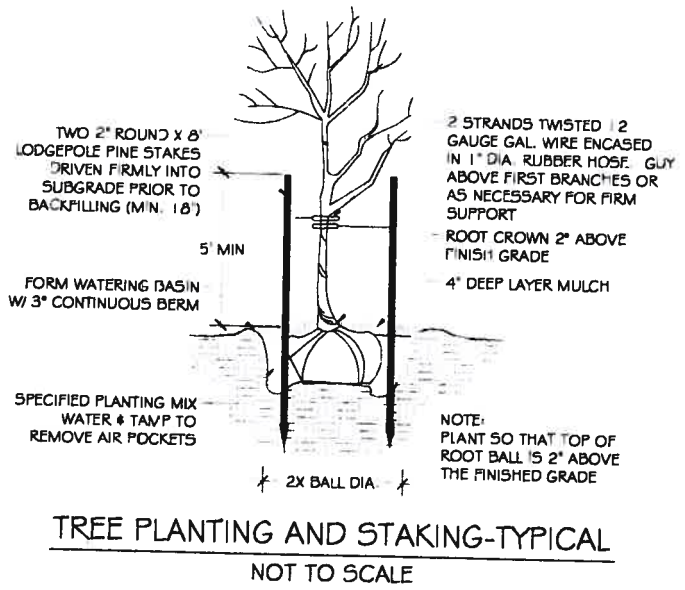


**2.5 ACRE  
 SITE PLAN**

SCALE:  
 1" = 30'-0"  
 DATE:  
 APRIL 19, 2007  
 PROJECT NO:  
 LILJOM  
 DRAWN BY: CHECKED BY:  
 TR JEM

SHEET NO:

**L.I.O.**



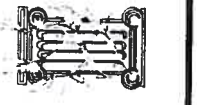
REVISIONS		
DATE	DESCRIPTION	BY

NOTES:

CLIENT INFORMATION  
**LILJOM RESTAURANT**  
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 2001 RUBY HILLS BLVD  
 LIVERMORE, CA 94550

**JOHN MONTGOMERY**  
 LANDSCAPE ARCHITECTS  
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**PLANTING PLAN**

SCALE: 1" = 20'-0"

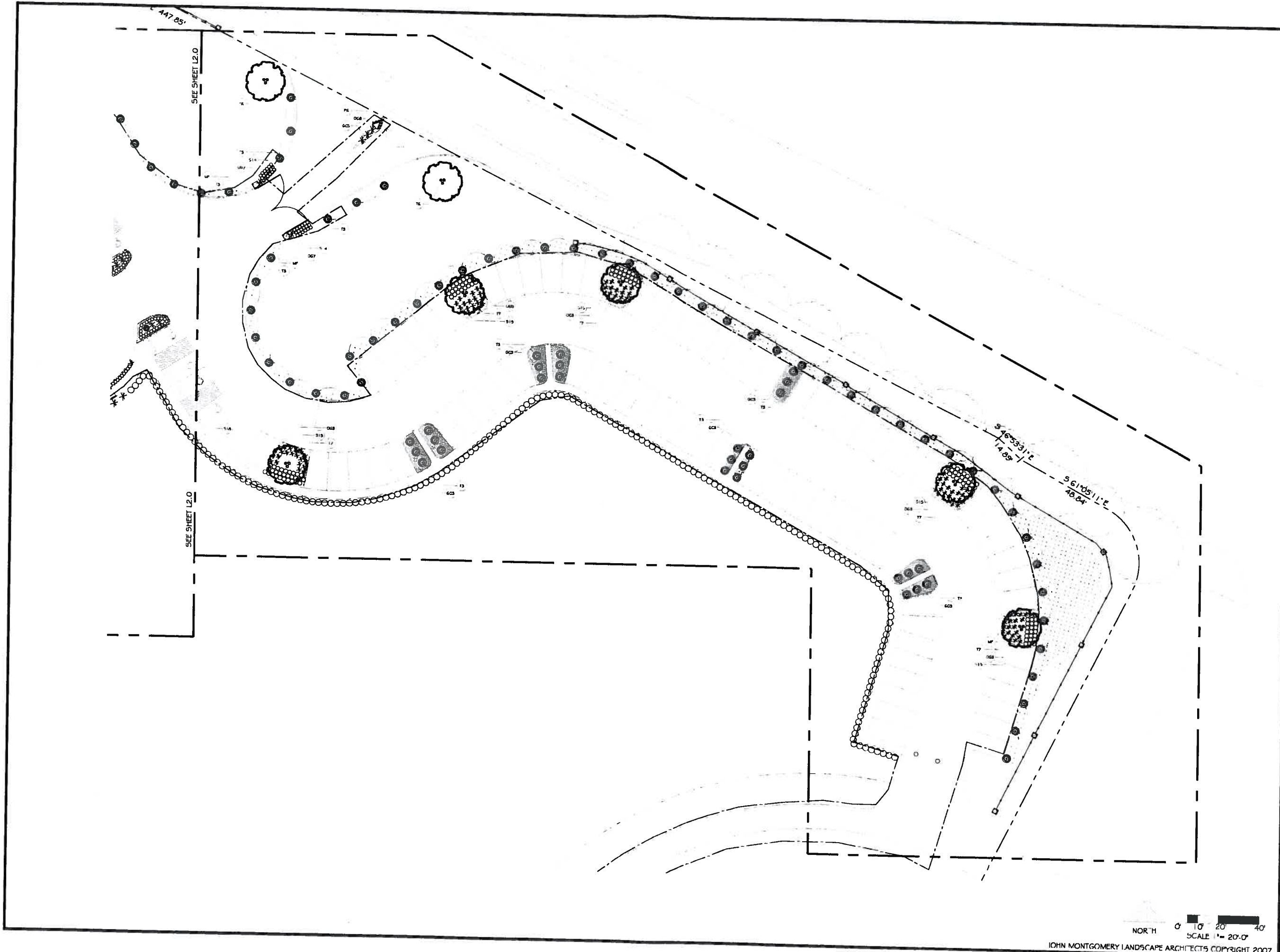
DATE: APRIL 19, 2007

PROJECT NO.: LILJOM

DRAWN BY: TR CHECKED BY: JEM

SHEET NO.:

**L2.0**



NORTH  
SCALE 1" = 20'-0"  
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REVISIONS		
DATE	DESCRIPTION	BY

CLIENT INFORMATION:  
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 ARPAD & BARNABAS NAGY  
 2001 RUBY HILLS BLVD  
 LIVERMORE, CA 94550

**JOHN MONTGOMERY**  
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 PHONE 925.820.8884 • FAX 925.820.6455  
 LICENSE NO. 4089



**PLANTING PLAN**

SCALE:  
 1" = 20'-0"  
 DATE:  
 APRIL 19, 2007  
 PROJECT NO:  
 LILIOM  
 DRAWN BY: TR CHECKED BY: JEM  
 SHEET NO:

**L3.0**

# PLANTING SPECIFICATIONS

## SITE PREPARATION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING AND FOR ALL PLANTING AREA DRAINAGE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AS PER CITY CODES SHALL BE MAINTAINED. NO LOW SPOTS WHICH HOLD STANDING WATER WILL BE ACCEPTED.
- THE CONTRACTOR SHALL SPRAY ANY EXISTING WEED GROWTH WITH ROUND-UP HERBICIDE TWO WEEKS (MIN.) TO FOUR WEEKS PRIOR TO COMMENCEMENT OF SITE PREPARATION.
- PREPARE SOIL BY ROTOTILLING 5X (6) CUBIC YARDS OF ORGANIC GREEN (OR EQUIVALENT) SOIL AMENDMENT PER 1000 SQ. FEET INTO EXISTING SOIL TO A DEPTH OF 4 TO 8 INCHES IN GROUND COVER AND LAWN AREAS ONLY.
- WHERE ROTOTILLING IS NOT POSSIBLE INCORPORATE SOIL AMENDMENTS INTO THE TOP 6 INCHES WITH HAND TOOLS.
- GROWING MEDIA SHOULD BE FERTILE AND FRIABLE AND OF SUCH QUALITY THAT WILL PROMOTE THE HEALTHY GROWTH OF THE PLANT MATERIAL.
- SOIL SHOULD BE REASONABLY FREE OF ROCKS, DEBRIS AND ALL NOXIOUS WEEDS.
- IMPORTED SOIL, IF REQUIRED, SHOULD BE FREE OF DISEASES, PESTS, AND ALL NOXIOUS WEEDS AND SHOULD BE OF SIMILAR TEXTURE TO THE NATIVE MATERIAL ON THE SITE. PROVIDED THE EXISTING NATIVE MATERIAL IS SUITABLE FOR PLANTING. ALL IMPORTED SOIL SHOULD BE BLENDED TO A DEPTH OF THREE TO SIX INCHES WITH THE SUB-GRADE MATERIAL TO PREVENT INTERFERENCE.

## PLANTING:

- SHRUBS: THE SHRUBS ARE TO BE PLANTED AS PER DETAILS ON PLANS. PLANT EACH PLANT WITH 1/2 NITRIFIED FIR, AND 1/2 AMENDED SITE SOIL. EACH PLANT SHALL HAVE A WATERING BASIN. APPLY 1 AGRIFORM TAB PER 1 GALLON. 2 TABS PER 5 GAL. 3 TABS PER 15 GAL. AND 4 TABS PER 24" BOX. (SHRUBS INCLUDE GRASSES PERENNIALS, AND ROSES).
- TREES: THE TREES ARE TO BE PLANTED AS PER DETAIL ON PLANS. TREES SHALL TYPICALLY BE LOCATED A MINIMUM OF 8 FEET FROM CURBS, WALKS, HEADERS, BUILDING OVERHANGS AND OTHER TREES WITHIN THE PROJECT. TREES TO BE LOCATED WITHIN 3 FEET OF A CURB, WALK, HEADER, OR BUILDING FOUNDATION SHALL BE PLANTED IN A 'DEEP ROOT' BARRIER AS PER MANUFACTURERS RECOMMENDATIONS. MULTI-TRUNK INDICATES (3) THREE TRUNKS (MIN.) BRANCHED FROM THE BASE OF THE TREE. STAKE ALL TREES AS PER DETAIL WITH ONE-3' ROUND LODGEPOLE TYPE TREE STAKE 8' OR 10' IN LENGTH. TIE WITH RUBBER TREE STRAPS.
- LAWN: ALL LAWN AREAS TO BE SODDED WITH BOLEDO™ FESCUE MIX SUPPLIED BY DELTA BLUEGRASS SOD CO. STOCKTON, CA. APPLY STARTER FERTILIZER AT 2 LBS. PER 1000 SQ. FT. AT 1" DEPTH BEFORE LAYING SOD. WATER AND ROLL SOD IMMEDIATELY FOLLOWING INSTALLATION.
- GROUND COVER PLANTS: ALL ROOTED CUTTINGS SHOULD BE HEALTHY VEGETATIVE MATERIAL WITH WELL ESTABLISHED ROOTS AT ONE OR MORE NODES. ALL CONTAINER GROWN GROUND COVER SHOULD BE WELL ROOTED WITHIN THE ROOTING MEDIUM.
- ALL PLANTS SHOULD BE OF A REASONABLY UNIFORM AND STANDARD SIZE FOR EACH SPECIES, WELL FORMED, AND IN A HEALTHY FULLY ROOTED, THRIVING CONDITION.
- ALL PLANTS SHOULD BE TRUE TO TYPE OR NAME, BY SPECIES AND VARIETY, AS REQUIRED BY THE CALIFORNIA FOOD AND AGRICULTURE CODE.
- ALL PLANTS SHOULD BE TYPICAL OF THEIR SPECIES AND VARIETY AND SHOULD HAVE NORMAL HABIT OF GROWTH. THE TOP GROWTH SHOULD BE STRUCTURED PROPORTIONATELY SO THAT IT IS REPRESENTATIVE OF THE SPECIES.
- ALL PLANTS SHOULD COMPLY WITH FEDERAL AND STATE LAWS REQUIRING INSPECTION FOR PLANT DISEASES AND INFESTATIONS. INSPECTION CERTIFICATES REQUIRED BY LAW SHOULD ACCOMPANY EACH SHIPMENT OF PLANTS.
- CONTAINER-GROWN PLANTS SHOULD BE SUFFICIENTLY ESTABLISHED SO THAT A MINIMUM OF 75% OF EACH ROOT BALL STAYS INTACT DURING PLANTING. WHEN LIFTED BY THE TRUNK, THE TRUNK SHOULD RISE NO MORE THAN ONE INCH BEFORE THE SOIL SURFACE OF THE ROOT BALL BEGINS TO RISE. WHEN UNSUPPORTED, THE TRUNK OF TREES SHOULD LEAN NO MORE THAN 30 DEGREES FROM THE VERTICAL WHEN MEASURED WITHIN FOUR INCHES OF THE ROOT BALL.

- PRIOR TO PLANTING GROUND COVER PLANTS, SOIL AMENDMENTS AND FERTILIZERS SHOULD BE UNIFORMLY INCORPORATED INTO THE SOIL AND FINISH GRADE ESTABLISHED. PLANTS SHOULD BE EVENLY SPACED AT THE REQUIRED SPACING. PLANTED IN MOIST SOIL AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING.

- PLANT LOCATIONS SHOULD BE LAID OUT AS INDICATED ON THE DRAWINGS, ADJUSTING AS NECESSARY TO AVOID EXISTING UNDERGROUND AND OVERHEAD UTILITIES. PLANTS SHOULD BE LOCATED WHERE THEY WILL NOT OBSTRUCT IRRIGATION SPRINKLERS OR DRAINAGE SWALES AND FAR ENOUGH AWAY FROM THROUGHFARES SO THEY WILL NOT ENCROACH WHEN THEY REACH THEIR ULTIMATE SIZE.

- UPON COMPLETION OF PLANTING TREES SHRUBS AND GROUND COVERS, AND PRIOR TO THE APPLICATION OF PRE-EMERGENT WEED CONTROL AND MULCH, ALL PLANTING AREAS SHOULD BE FINAL GRADED TO RE-ESTABLISH PROPER GRADES, AND RAKED SMOOTH AND CLEAN. ALL DEBRIS, AND ROCK OR CLAY LUMPS ONE INCH AND LARGER SHOULD BE REMOVED.

## CHEMICAL WEED CONTROL:

- HERBICIDES USED FOR CHEMICAL WEED CONTROL SHOULD BE APPLIED PER THE MANUFACTURERS RECOMMENDATIONS AND MUST BE DONE IN ACCORDANCE WITH ALL REGULATIONS OF GOVERNMENT AGENCIES. USE EXTREME CARE WHEN USING HERBICIDES TO AVOID THE RISK OF DAMAGE TO OTHER PLANT MATERIALS AND INJURY TO HUMANS AND WILDLIFE.
- TREAT ALL PLANTER BED AREAS WITH RONSTAR-G PRE-EMERGENT WEED CONTROL (FOLLOW MANUFACTURERS RECOMMENDATIONS) BEFORE APPLYING TOP MULCH.

## MULCHING:

- PLANTING AREAS SHOULD BE MULCHED TO HELP KEEP THE SOIL AND YOUNG PLANT ROOTS AT A DESIRABLE TEMPERATURE, MAINTAIN MOISTURE, AND REDUCE WEED GROWTH. MULCH SHOULD BE APPLIED IN AN EVEN AND SMOOTH LAYER OVER THE PLANTING AREA AFTER FINAL GRADING IS COMPLETE AND AFTER THE APPLICATION OF AN APPROPRIATE PRE-EMERGENT HERBICIDE.

- TOP MULCH ALL PLANTER BED AREAS WITH 1" (MIN.) NITRIFIED FIR BARK (1/4" TO DUST) OR EQUAL. ALL SLOPE AREAS WITH A GRADE OF MORE THAN 10% SHALL BE MULCHED WITH 2" (MIN.) SHREDDED CEDAR MULCH.

## SODDED LAWN PLANTING:

- AFTER SOIL PREPARATION IS COMPLETE, THE FINISH GRADE OF AREAS TO BE SODDED SHOULD BE APPROXIMATELY ONE INCH BELOW THE SURFACE OF ADJACENT PAVING OR OTHER EDGING.

- A SUITABLE FERTILIZER SHOULD BE APPLIED, FOLLOWING MANUFACTURERS RECOMMENDATIONS, AND THE SOIL MOISTENED PRIOR TO SODDING.

- THE SOD SHOULD BE LAID WITH STAGGERED, BUTTED JOINTS AND SHOULD BE IN FIRM CONTACT WITH THE SOIL, WITH NO SPACES BETWEEN THE JOINTS.

- THE SOD SHOULD BE ROLLED IMMEDIATELY FOLLOWING INSTALLATION AND PRIOR TO INITIAL WATERING. HEAVY WATER SATURATION OF THE SOD, IN LIEU OF ROLLING, IS ACCEPTABLE IF A TIGHT BOND CAN BE ENSURED.

- PROPER MOISTURE SHOULD BE PROVIDED THROUGHOUT THE SOD INSTALLATION OPERATIONS TO AVOID UNNECESSARY STRESS TO THE PLANT MATERIAL. SOD SHOULD BE THOROUGHLY WATERED UPON COMPLETION OF INSTALLATION AND PROPER SOIL MOISTURE LEVEL MAINTAINED THEREAFTER.

- THE FIRST MOWING SHOULD BE DONE BEFORE THE GRASS REACHES FOUR INCHES IN HEIGHT AND WHEN THE SOIL IS IN A RELATIVELY FIRM CONDITION. NO MORE THAN ONE-THIRD OF THE LEAF SURFACE SHOULD BE REMOVED WITH ANY SINGLE MOWING.

# PLANT SCHEDULE

KEY:	BOTANICAL NAMES	COMMON NAMES	BY OWNER	QTY:	SIZE:
T1	Acer palmatum	Japanese Maple		24"	
T2	Acer palmatum 'Burgundy Lace'	Japanese Maple		24"	
T3	Cupressus sempervirens 'Glauca'	Italian Cypress		160	24"
T4	Cupressus sempervirens 'Spiral'	Italian Cypress	5	8	24"
T5	Lagerstroemia indica 'Twilight'	Crape Myrtle		2	24"
T6	Olea europaea	European Olive (Specimen)		2	
T7	Olea europaea 'Swan Hill' (Milt.)	Swan Hill Olive (fruitless)		7	60"
T8	Punica granatum	Pomegranate		24"	

KEY:	PALMS	BY OWNER	QTY:	SIZE:	
PT1	Burba capitata	Pindo Palm	2	15 Gal.	
PT2	Chamaerops humilis	Mediterranean Fan Palm (Specimen)	1	24"	
PT3	Phoenix canariensis	Canary Island Date Palm (Specimen)	2		
PT4	Syagrus romanzoffiana	Queen Palm	2	24"	
PT5	Trachycarpus fortunei	Windmill Palm	1	3	5 Gal.

KEY:	CONTAINER PALMS:	BY OWNER	QTY:	SIZE:	
CA	Chamaerops humilis 'centera' (argentea)	Mediterranean Fan Palm	8	15 Gal.	
CB	Cordyline australis 'Red Star'	Red Star Grass Palm	2	5 Gal.	
CC	Cycas revoluta	Sago Palm	2	6	15 Gal.

KEY:	SHRUBS:	BY OWNER	QTY:	SIZE:	
S1	Abelia grandiflora 'Little Richard'	Abelia	8	5 Gal.	
S2	Azalea southern indica 'Formosa'	Formosa Sun Azalea	8	5 Gal.	
S3	Azalea southern indica 'White Lace'	White Lace Sun Azalea	8	5 Gal.	
S4	Buxus microphylla japonica 'Green Beauty'	Japanese Boxwood	7	1 Gal.	
S5	Buxus microphylla japonica 'Winter Gem'	Boxwood	57	1 Gal.	
S6	Camellia japonica 'Nuccio's Gem'	Camellia	8	5 Gal.	
S7	Caryopteris x clandonensis 'Dark Knight'	Buebeard	4	5 Gal.	
S8	Dodonaea viscosa 'Saratoga'	Hop Bush	8	5 Gal.	
S9	Hebe 'Autumn Glory'	Hebe	7	5 Gal.	
S10	Helleborus hybridus	Hellebore	8	1 Gal.	
S11	Hibiscus syriacus 'Collie Mullens'	Rose of Sharon	4	5 Gal.	
S12	Hibiscus syriacus 'Diana'	Rose of Sharon	3	5 Gal.	
S13	Hydrangea macrophylla	Bigleaf Hydrangea	2	1	5 Gal.
S14	Lavandula x intermedia 'Grosso'	Lavender	47	1 Gal.	
S15	Lavandula x intermedia 'Provence'	Lavender	66	1 Gal.	
S16	Lavandula Stoechas 'Otto Quest'	Spanish Lavender	10	5 Gal.	
S17	Loropetalum chinensis 'Razzebern'	Razzebern Loropetalum	10	5 Gal.	
S18	Olea europaea 'Little Olive-Montra'	Dwarf Olive	18	1	5 Gal.
S19	Pittosporum tobira 'Vanezata'	Pittosporum	8	5 Gal.	
S20	Polygala x da ma siana	Sweet Pea Shrub	8	5 Gal.	
S21	Rosmarinus officinalis 'Ken Taylor'	Ken Taylor Rosemary	3	5 Gal.	
S22	Syringa x persica	Persian Lilac	1	15 Gal.	
S23	Viburnum davidii	Viburnum	20	5 Gal.	

KEY:	PERENNIALS:	BY OWNER	QTY:	SIZE:
P1	Agapanthus africanus	Lily-of-the-Nile	40	2 Gal.
P2	Campanula poscharskyana 'Alba'	Siberian Bellflower	26	1 Gal.
P3	Hemerocallis 'Gentle Shepherd'	Gentle Shepherd Day Lily	17	1 Gal.
P4	Hemerocallis 'Lavender Dew'	Daylily	15	1 Gal.
P5	Hemerocallis 'Double Gold Monard'	Daylily	36	1 Gal.
P6	Hemerocallis 'Purple Majic'	Daylily	49	1 Gal.
P7	Hemerocallis 'Stella d'Oro'	Daylily	6	1 Gal.
P8	Hemerocallis 'Sunday Gloves'	Daylily	66	1 Gal.
P9	Heuchera 'Dark Delight'	Dark Delight Coral Bells	8	1 Gal.
P10	Ins. ensata	Bearded Iris	50	1 Gal.
P11	Iris sibirica	Siberian Iris	8	1 Gal.
P12	Nepeta x faassenii	Catmint	30	1 Gal.
P13	Penstemon alexandroides 'Midnight'	Border Penstemon	8	1 Gal.
P14	Zantedeschia aethiops	Common Calla	9	1 Gal.

KEY:	FERNS:	BY OWNER	QTY:	SIZE:
F1	Nephrolepis cordifolia	Southern Sword Fern	10	5 Gal.

KEY:	ORNAMENTAL GRASSES:	QTY:	SIZE:	
OG1	Carex tunnicola	Sedge	18	5 Gal.
OG2	Liriope gigantea	Big Blue Lily Turf	2	5 Gal.
OG3	Nassella tenuissima	Mexican Feather Grass	139	1 Gal.
OG4	Pennisetum setaceum 'Rubrum' Dwarf	Dwarf Fountain Grass	2	5 Gal.
OG5	Phormium tenax 'Amazing Red'	New Zealand Flax	2	5 Gal.
OG6	Phormium tenax 'Chocolate'	New Zealand Flax	6	5 Gal.
OG7	Phormium tenax 'Dark Delight'	New Zealand Flax	7	5 Gal.
OG8	Phormium tenax 'Pink Stripe'	New Zealand Flax	7	5 Gal.
OG9	Phormium tenax 'Tricolor'	New Zealand Flax	4	5 Gal.
OG10	Sporobolus arundinaceae	Feather Grass	7	5 Gal.

# PLANT SCHEDULE (Cont.)

KEY:	TREE ROSES:	COMMON NAMES	BY OWNER	QTY:	SIZE:
TR1	Rosa 'Crimson Bouquet'	Tree Rose	2	5 Gal.	
TR2	Rosa hybrid tea	Tree Rose	2	5 Gal.	
TR3	Rosa 'Melody Parfume'	Tree Rose		5 Gal.	
TR4	Rosa 'Just Joey'	Tree Rose		5 Gal.	
TR5	Rosa 'Spellbound'	Tree Rose		5 Gal.	
TR6	Rosa 'Diana Princess of Wales'	Tree Rose		5 Gal.	
TR7	Rosa 'Mister Lincoln'	Tree Rose		5 Gal.	
TR8	Rosa 'Double Delight'	Tree Rose		5 Gal.	
TR9	Rosa 'Welcome Home'	Tree Rose		5 Gal.	
TR10	Rosa 'Color Me Pink'	Tree Rose		5 Gal.	

KEY:	ROSES (BUSH):	BY OWNER	QTY:	SIZE:
R1	Rosa	Rose	4	5 Gal.
R2	Rosa 'Iceberg'	Iceberg Rose Bush	5	5 Gal.

KEY:	CLIMBING ROSES:	BY OWNER	QTY:	SIZE:
CR1	Rosa 'Joseph's Coat'	Joseph's Coat Rose	2	5 Gal.

KEY:	FRUIT BEARING TREES:	BY OWNER	QTY:	SIZE:
FT1	Citrus 'Improved Meyer'	Dwarf Improved Meyer Lemon	4	15 Gal.
FT2	Citrus 'Moro'	Dwarf Blood Orange	8	15 Gal.
FT3	Citrus 'Pink Lemonade'	Dwarf Pink Lemonade Lemon	4	15 Gal.
FT4	Citrus 'Sanguinell'	Dwarf Blood Orange	4	15 Gal.
FT5	Citrus 'Valencia'	Dwarf Valencia Orange	2	15 Gal.

KEY:	VINES:	BY OWNER	QTY:	SIZE:
V1	Bougainvillea spectabilis 'Texas Dawn'	Bougainvillea	8	5 Gal.
V2	Ficus pumila	Creeping Fig	4	5 Gal.
V3	Parthenocissus truncata 'Veitchii'	Boston Ivy	1	5 Gal.
V4	Wisteria sinensis 'Alba'	Chinese Wisteria	1	5 Gal.
V5	Wisteria sinensis 'Amethyst'	Chinese Wisteria	4	5 Gal.

KEY:	GROUND COVERS:	BY OWNER	QTY:	SIZE:
GC1	Mentha requienii	Jewel Mint of Corsica	48	4"
GC2	Origanum laevigatum 'Hopley's White'	Oregano	80	4"
GC3	Rosmarinus officinalis 'Irene'	Rosemary	207	1 Gal.
GC4	Stachys macrantha 'Superba'	Stachys	32	4"
GC5	Teucrium cossonii 'majoricum'	Germander	432	4"
GC6	Veronica pedunculata 'Georgia Blue'	Veronica	208	1 O.C.

KEY:	ANNUALS:	BY OWNER	QTY:	SIZE:
AN	Seasonal Annuals (Selection by Owner)		4'	

KEY:	CULINARY HERBS:	BY OWNER	QTY:	SIZE:
CHA	Planting Bed A:			
	Allium sativum	Garlic	3	4'
	Artemisia dracunculoides	French Tarragon	1	4'
	Conandrum sativum	Cilantro	3	4'
	Melissa officinalis 'Aurea'	Lemon Balm	1	4'
	Ocimum basilicum	Sweet Basil	3	4'
	Salvia officinalis 'Ticolor'	Common Sage	1	4'
	Thymus x citriodorus 'Aureus'	Lemon Thyme	3	4'

KEY:	Planting Bed B:	BY OWNER	QTY:	SIZE:
CHB	Planting Bed B:			
	Borago officinalis	Borage	1	4'
	Foeniculum vulgare	Common Fennel	3	4'
	Hyssopus officinalis	Hyssop	1	4'
	Rosmarinus o. 'Collingwood Ingram'	Rosemary	1	Gal.
	Salvia officinalis 'Purpurascens'	Common Sage	3	1 Gal.
	Thymus vulgaris 'Argenteus'	Silver Thyme	3	4'
	Thymus vulgaris 'Orange Baisam'	Orange Thyme	3	4'

KEY:	Planting Bed C:	BY OWNER	QTY:	SIZE:
CHC	Planting Bed C:			
	Helichrysum italicum	Hyssop	3	4'
	Ocimum basilicum 'Red Rubin'	Purple Leaf Basil	3	4'
	Ocimum sanctum	Thai Basil	3	4'
	Oregano x majoricum	Italian Marjoram	3	4'
	Petroselinum crispum	Parsley	3	4'
	Salvia officinalis 'ictenna'	Garden Sage	2	1 Gal.
	Satureia douglasii	Yerba Buena	1	4'

KEY:	Mow Free Fescue	BY OWNER	QTY:	SIZE:
MF	Mow Free Fescue		5,629	SQ FT
SOD	Boledo™ Fescue		2,294	SQ FT

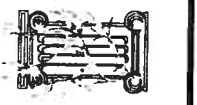
## REVISIONS

DATE:	DESCRIPTION:	BY:

## NOTES:

CLIENT INFORMATION:  
**LILJOM RESTAURANT**  
 ARPAD & BARNABAS NAGY  
 2001 RUBY HILLS BLVD  
 LIVERMORE, CA 94550

**JOHN MONTGOMERY**  
 LANDSCAPE ARCHITECTS  
 GARDEN ARCHITECTURE  
 P.O. BOX 615 • ALAMO, CA 94507  
 PHONE 925.870.8884 • FAX 925.870.6455  
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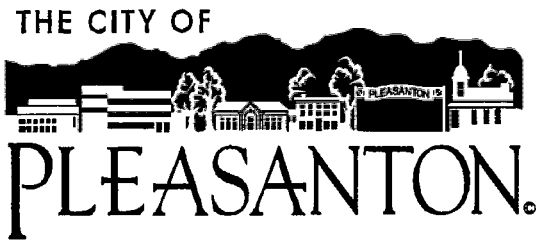


## PLANTING NOTES & SCHEDULE

SCALE:	AS NOTED
DATE:	APRIL 19, 2007
PROJECT NO.:	LILJOM
DRAWN BY:	TR
CHECKED BY:	JEM
SHEET NO.:	

**L4.0**





**Planning Commission  
Staff Report**

October 12, 2011  
Item 6.a.

**SUBJECT:** PUD-93-02-10M

**APPLICANT/  
PROPERTY OWNER:** Arpad Nagy

**PROPOSAL:** Application for a Major Modification to extend the approvals for two years, to expire on August 16, 2013, for an approved project (PUD-93-02-09M/PCUP-82) which consists of: (1) relocating the existing sales office building on Ruby Hill Boulevard northwesterly along Vineyard Avenue; (2) changing the existing office use to restaurant use; (3) establishing a pad location and design guidelines for a future single-family residence; and (4) a Conditional Use Permit to allow alcoholic beverage service at the restaurant after 10:00 p.m.

**GENERAL PLAN:** Open Space- Agriculture and Grazing

**ZONING:** PUD (Planned Unit Development) – A/OS/LDR (Agriculture/Open Space/Low Density Residential) District.

**LOCATION:** 2001 Ruby Hill Boulevard

- EXHIBITS:**
- A. Draft Conditions of Approval for PUD-93-02-10M (Exhibit A-1) and for PCUP-182 (Exhibit A-2)
  - B. Written Narratives and Approved PUD-93-02-09 Development Plan
  - C. City Council Ordinance No. 1956 and City Council Resolution 07-132
  - D. Planning Commission Meeting Staff Report, Excerpt Minutes, Planning Commission Resolution No. PC-2007-22 (PUD Major Modification), and Planning Commission Resolution No. PC-2007-23 (PCUP-182), dated May 9, 2007
  - E. City Council Meeting Agenda Report and Excerpt Minutes, dated June 19, 2007
  - F. Public Comments
  - G. Location Map
  - H. Notification Map

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## **BACKGROUND**

In July 2007, after receiving the Planning Commission's recommendation for approval, the City Council adopted Ordinance No. 1956 approving a Planned Unit Development major modification application from the applicant for the proposed restaurant use and establishing a building pad for the future residence. The conditional use permit (PCUP-182) was approved by the Planning Commission (PC-2007-23) to allow alcoholic beverage service at the restaurant after 10:00 p.m. Applications for conditional use permit are normally review and acted on by the Planning Commission unless it is appealed to the City Council. For this project, since the PUD major modification was for a restaurant use and the conditional use permit was to allow alcoholic beverage service after 10:00 p.m. at the restaurant, the condition use permit was also forwarded to the City Council. The Council approved the conditional use permit on the same hearing it introduced Ordinance No. 1956.

As both the PUD development plan modification and the conditional use permit were for the same project, the expiration of the conditional use permit was conditioned to expire on the same date as the PUD modification<sup>1</sup>. Condition No. 6 of Ordinance No. 1956 provides that the PUD development plan modification and the conditional use permit approvals expire two years following the effective date, unless a building permit is issued and construction has commenced, or an extension has been approved by the City. Based on this condition, the approvals were set to expire on August 16, 2009.

In December 2007, the applicant submitted construction plans for the restaurant to the Building Division for plan check. However, the applicant did not obtain the permit.

In May 2009, the applicant requested an extension of the project approval without modifications to the project. In accordance with Section 18.12.030 of the Municipal Code, the Zoning Administrator granted a one-year extension (to August 16, 2010). Meanwhile, building staff informed the applicant of the Statewide Building Code changes taking effect on January 1, 2010, and that if the building permit is not issued by the end of 2009, the applicant will be required to resubmit construction plans that conform to the new codes and pay the applicable plan check fees for the updated plans.

In August 2010, the applicant requested another administrative extension pursuant to Section 18.12.030. The Zoning Administrator granted the second one-year extension (to August 16, 2011). The applicants were also advised that this second extension was the last one which could be considered administratively.

In July of this year, Arpad Nagy contacted staff regarding building permit issuance and fees. He was reminded that the construction drawings submitted in 2007 are no longer valid and that the construction plans need to be updated per the current codes and plan checked by staff.

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<sup>1</sup> PUD approvals are normally valid for two years and Conditional Use Permits are normally valid for one year.

The applicant indicated that there would not be adequate time to revise the construction drawings and obtain the building permit prior to the project expiration date. He then inquired about extending the project approvals again. Staff informed him that there is no further administrative extension that can be granted for this project, but he could apply for a PUD modification to modify the expiration date. The applicant filed for a PUD modification to extend the approval for two more years until August 16, 2013.

A modification to extend the approval without changing the project, such as this request, is normally processed as a PUD minor modification. Notices of the requested modification are sent to the surrounding property owners/residents. If no concerns regarding the requested modification were received during the public comment period, the Zoning Administrator has the authority to make a decision on the request, and the decision is forwarded to the Planning Commission and the City Council as a Zoning Administrator Action item. Either the Planning Commission and/or the City Council can appeal the Zoning Administrator's action. If concerns are raised from the public notice, the proposed PUD minor modification becomes a PUD major modification. A PUD major modification applicant is subject to review and approval by the City Council, following recommendation on the application by the Planning Commission.

For this particular request, two Ruby Hill residents raised objections to the requested extension after receiving the notice. Therefore, the PUD minor modification becomes a PUD major modification subject to review by the Planning Commission and the City Council.

## **SITE LOCATION**

The subject site is located within the Ruby Hill Planned Unit Development (PUD-93-02). The overall development was originally approved by Alameda County prior to its annexation to the City of Pleasanton in 1993. Development of the site is subject to the County's planned development conditions of approval, the Ruby Hill Development Agreement, the South Livermore Valley Area Plan policies, and conformance to the Conservancy Easement. An existing conservation easement limits the amount of land not in grape production to a maximum of 2.5 acres.

Existing uses on the site are vineyards and an existing two-story building previously used as the Ruby Hill sales office. Permitted uses within the 2.5-acre area include, but are not limited to: home, winery, tasting room, restaurant, and lodging.



Site Location

## **SITE DESCRIPTION**

The subject site is a relatively flat site located on the south side of Vineyard Avenue between the Mitchell Katz Winery and the signalized entrance to Ruby Hill. It is approximately 36 acres in size and contains an active vineyard operated by Wentle Brothers. Access to the site is provided by an existing driveway from Ruby Hill Boulevard before the entrance kiosk. A seasonal drainage channel running in a north-south direction bisects the property.

Surrounding uses are the following:

North:	Gravel Quarries (Alameda County)
East:	Vineyards and Commercial (Ruby Hill Winery and Casa Real Event Center)
South:	Vineyards and Ruby Hill Development
West:	Vineyards and Ruby Hill Development

## **PROJECT DESCRIPTION**

The current request is to modify Condition No. 6 of City Council Ordinance No. 1956, therefore, to extend the approvals for Case Nos. PUD-93-02-09M and PCUP-182 for two more years to expire on August 16, 2013. No revisions to the original project have been proposed. Otherwise, the original project includes the following:

- \* Change the existing use of the building from sales office to restaurant;
- \* Relocate the existing two-story, approximately 4,200-square-foot former sales office building toward Vineyard Avenue and to the east side of the seasonal drainage channel;

- \* Create basement area for use as a wine cellar;
- \* Construct a new driveway off of Vineyard Avenue and a 100-space parking lot for restaurant staff and patrons;
- \* Remodel the building interior and operate a restaurant that serves dinner to the public daily and holds private functions during non-dinner hours;
- \* Allow consumption of alcoholic beverages at the restaurant after 10:00 p.m. (PCUP-182);
- \* Establish a building envelope at the former sales office building location for the construction of a future residence; and
- \* Approve proposed design guidelines for the future home.

The proposed restaurant would be open daily. It is dinner-only restaurant with the following operation hours:

- Sunday -Thursday: 6:00 p.m.-10:00 p.m. – dining hours
- Friday/Saturday, and the day before a Federal holiday: 6:00 p.m.-11:00 p.m. – dining hours

Staff of the restaurant may be on premises from 9:00 a.m. to closing time for daily administrative duties and restaurant preparation.

The applicant also proposes to host daily private functions at the restaurant. These functions may include weddings, corporate events, etc. In order to offset any scheduling conflict and any potential impacts to Ruby Hill residents, restaurant patrons, and the public in general, the private functions would take place during non-dining hours, i.e., between the hours of 11:00 a.m. and 5:00 p.m. It allows one hour to get the restaurant ready for the 6:00 p.m. dining schedule.

Outdoor dining/activity hours are limited to 9:00 p.m.

## ANALYSIS

Two Ruby Hill residents raised concerns regarding the extension request. One questioned if the project would be constructed as it has been four years since it was originally approved and if it was a feasible project, it would have been built.

With the challenging economic climate in the past few years, the applicant has advised that it was difficult to secure financing, which delayed construction. As previously recommended by staff, the originally approved project conforms to the South Livermore Plan and echoes the development in the Livermore valley wine country areas. Staff believes that the request for extension is understandable and supportable. With the recent changes in the Statewide building codes, the non-residential CalGreen mandatory measures, stormwater, etc., the original PUD-93-02-09M conditions of approval were revised by staff to include the latest code requirements applicable to this project as well as new standard conditions. New and modified conditions are shown in *italics with underscore* in the draft conditions.

This extension request does not change the scope of the project. Therefore, the conditions for the original conditional use permit (Case No. 182) pertaining to restaurant operation remains unchanged (see CC Res. 07-132) except for the project expiration condition of approval.

For detailed project analysis, please refer to the staff report dated May 9, 2007, prepared for the Planning Commission (Attachment D).

Traffic, security, noise, and alcohol (e.g. public intoxication and drunk drivers) were the concerns raised by a few Ruby Hill residents. The proposed development would relocate the existing sales office building toward Vineyard Avenue. This relocation would separate the proposed restaurant from adjoining residential uses, which would reduce the impacts from the restaurant activities onto residential uses. However, a condition is included that if noise levels become a concern, the project can be reviewed again to add mitigating conditions of approval. Additionally, condition requires all outdoor activities be concluded at 9:00 p.m.

As proposed, the entrance to the restaurant would be directly from Vineyard Avenue. There would be a sign at the entrance to identify the facility. There would be no direct access from the restaurant to Ruby Hill. It is unlikely that patrons of the restaurant would be allowed in at the guard kiosk to wonder around the residential neighborhood. Additionally, conditions of approval require a full menu be available for patrons of the restaurant during operating hours and when alcoholic beverage are served, and employees that serve alcohol would be required to undergo a training program that is designated to prevent intoxication, underage drinking, and drunk driving.

## **PUBLIC COMMENTS**

Notice of the proposed extension request was sent to properties within Ruby Hill and within 1,000-foot radius of the subject site. Upon receipt of the project notification, Kenneth Thompson, resident at 2455 Pomino Way, stated that it has been several years since the project was initially approved. He does not support the requested extension as he believes that if it is a good venture, the project would have already been constructed, and that extending the project is a waste of time.

Ms. Elaine Lusher, a Ruby Hill resident, contacted staff via email (see Attachment F). Ms. Lusher objected to the sales office being used a restaurant. She felt that changing the office to a restaurant use would jeopardize the security of the Ruby Hill neighborhood.

Santokh Sohal, a Ruby Hill resident, emailed staff stating that the proposed restaurant would bring noise to the community and serving alcohol after 10 p.m. would result in having drunk people wondering near the Ruby Hill entrance.

Cyrus Razavi and Roya Safiei, Ruby Hill residents, emailed staff, stating that they were assured by the real estate sales representative that the former sales office building was part the common property and that it would not be used for commercial purpose. They believe that the proposed restaurant would bring traffic to the neighborhood and, therefore, violate the property owners' rights to enjoy the common property and the access roads.

## **CONCLUSION**

The request is to extend the approval of the project for two additional years (to August 16, 2013) with no changes to the project, except those required by State law to reflect updated Statewide building codes and stormwater requirements. The request would not change the original design of the project, which was recommended for approval for the reasons set forth in the May 9, 2007 report to the Planning Commission (Attachment D).

## **STAFF RECOMMENDATION**

Staff recommends that the Planning Commission recommend to the City Council approval of this PUD major modification to extend the project approval for two years subject to the Conditions of Approval as listed in Exhibit A-1 (PUD modification) and Exhibit A-2 (Conditional Use Permit).

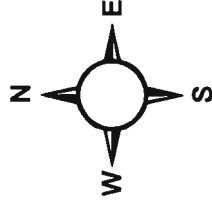
Staff Planner: Jenny Soo: 925.931.5615 or email: [jsoo@ci.pleasanton.ca.us](mailto:jsoo@ci.pleasanton.ca.us)

**2001 RUBY HILL**

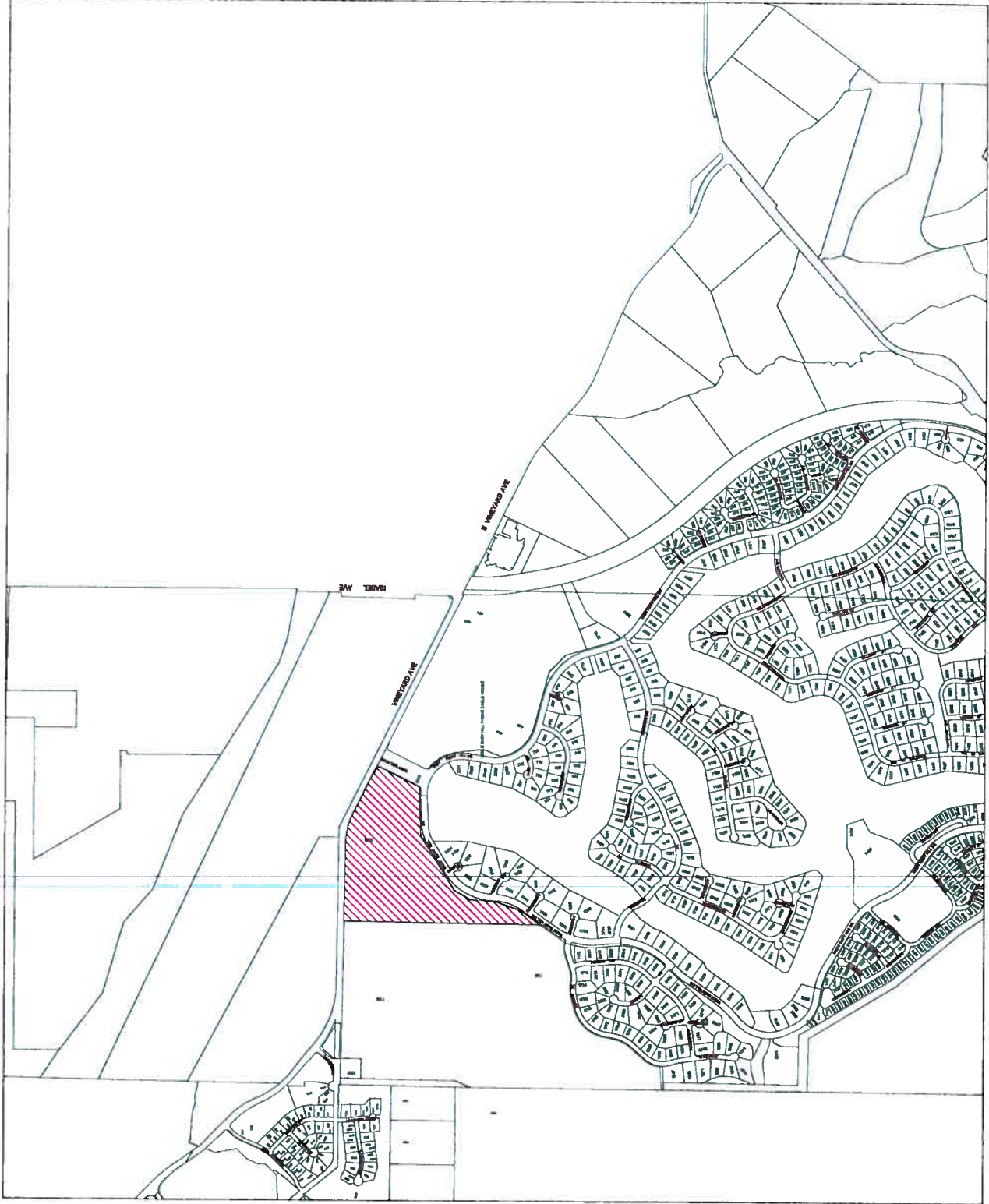
**City of Pleasanton**

**GIS**

**Department**



Printed 10/6/2011







## CITY COUNCIL AGENDA REPORT

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June 19, 2007  
Planning and Community Development

**TITLE:** PUD-93-02-09M/PCUP-182/BARNABAS NAGY – CONSIDER AN APPLICATION FOR A MAJOR MODIFICATION TO THE RUBY HILL PUD DEVELOPMENT PLAN TO RELOCATE THE EXISTING SALES OFFICE BUILDING ON RUBY HILL BOULEVARD NORTHWESTERLY ALONG VINEYARD AVENUE, CHANGE THE EXISTING OFFICE USE TO RESTAURANT USE, AND ESTABLISH A PAD LOCATION AND DESIGN GUIDELINES FOR A FUTURE SINGLE-FAMILY RESIDENCE; AND FOR A CONDITIONAL USE PERMIT TO ALLOW ALCOHOLIC BEVERAGE SERVICE AT THE RESTAURANT AFTER 10:00 P.M. THE PROPERTY IS LOCATED AT 2001 RUBY HILL BOULEVARD AND IS ZONED PUD/OS/A/LDR (PLANNED UNIT DEVELOPMENT/OPEN SPACE/AGRICULTURE/LOW DENSITY RESIDENTIAL) DISTRICT.

**ALSO CONSIDER THE NEGATIVE DECLARATION PREPARED FOR THE PROJECT.**

**PROPERTY OWNER:** Barnabas Nagy

**GENERAL PLAN:** Agriculture and Grazing and Urban Growth Boundary Line

**ZONING:** PUD (Planned Unit Development) – A/OS/LDR  
(Agriculture/Open Space/Low Density Residential) District.

### **SUMMARY**

The applicant proposes to relocate the existing two-story building previously used as the Ruby Hill sales office from the current location northwesterly toward Vineyard Avenue. This building would be converted into a fine-dining restaurant open for dinner and for private functions by reservation during non-dining hours. A new driveway would be established off Vineyard Avenue for exclusive use by the restaurant patrons, and a 100-space parking lot would be constructed along Vineyard Avenue. Alcoholic beverages would be served in conjunction with the restaurant activities. In addition, the applicant proposes a pad location for a future residence, which is the current location of the sales office. Staff, the Planning Commission and representative neighbors from Ruby Hill believe that the project, as conditioned, will be compatible with the surrounding area. The applicant is in agreement with the Planning Commission's recommended conditions of approval.

## **PLANNING COMMISSION RECOMMENDATION**

The Planning Commission recommended approval of the application (4-1 vote), subject to the conditions of approval recommended by staff and modified by the Commission.

## **RECOMMENDATION**

1. Find that the project will not have a significant effect on the environment, adopt the draft resolution approving the Negative Declaration as shown in Attachment 4, and find that the project has a *de minimus* impact on the site's wildlife;
2. Find that the proposed major modification to the PUD Development Plan is consistent with the General Plan and the purposes of the PUD Ordinance, make the findings as identified in Attachment 7, and introduce the draft ordinance approving PUD-93-02-09M subject to Exhibit B-1, Conditions of Approval as shown in Attachment 2; and
3. Make the Conditional Use Permit findings as stated in Attachment 8 and adopt the draft resolution approving PCUP-182 subject to Exhibit B-2, Conditions of Approval, as shown in Attachment 3.

## **FINANCIAL STATEMENT**

The proposed project would be responsible to pay fees and the costs of any required utility or infrastructure improvements. The project would incrementally increase the demand for City services and would add sales and property tax revenue. Staff believes that the net fiscal impact to the City resulting from the proposed project would be positive.

## **BACKGROUND**

The subject site is located within the Ruby Hill Planned Unit Development (PUD-93-02). The overall development was originally approved by Alameda County prior to its annexation to the City of Pleasanton in 1993. Development of the site is subject to the County's planned development conditions of approval, the Ruby Hill Development Agreement, the South Livermore Valley Area Plan policies, and to the Conservation Easement with the Tri-Valley Conservancy. An existing conservation easement limits the amount of land not in grape production to a maximum of 2.5 acres.

Existing uses on the site are planted grapes and an existing two-story building previously used as the Ruby Hill sales office. Permitted uses within the 2.5-acre conservation easement include but are not limited to homes, wineries, tasting rooms, restaurants, and lodging.

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Signatures Properties, Inc. was the developer of Ruby Hill. In February 1994, a building permit was issued for the construction of a two-story building to be used as a temporary sales office and information center for the Ruby Hill development. The access to and from the sales office is via Ruby Hill Boulevard, and the sales office is connected to the City sewer via a private sewer line and private sewer pump located under Ruby Hill Drive.

The applicant, Mr. Nagy, proposes a major modification to the Ruby Hill PUD development plan to relocate the existing sales office and convert it to a restaurant, and to create a future home site. He is also requesting consideration of a conditional use permit to allow alcohol sales after 10:00 p.m.

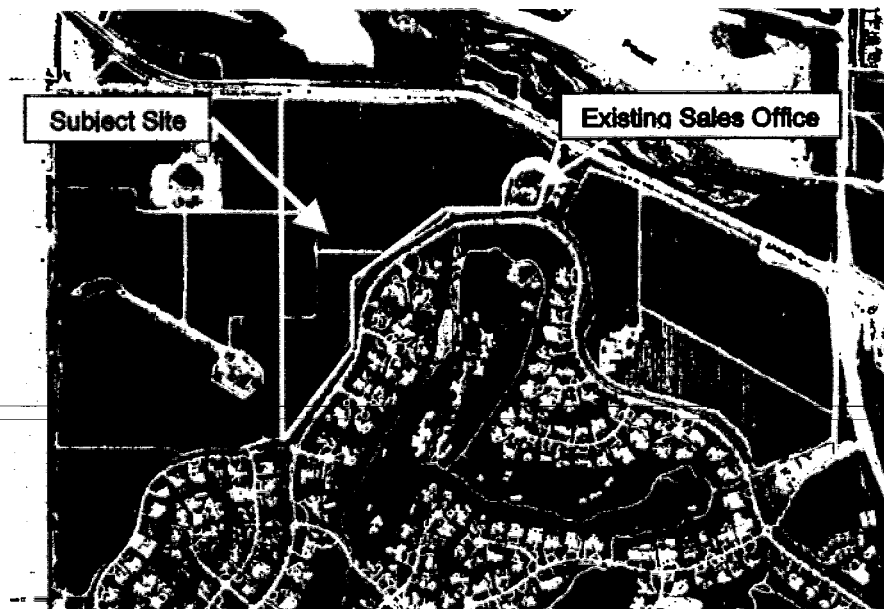
Major modifications are subject to review by the Planning Commission and by the City Council. Conditional use permits are normally subject to the approval of the Planning Commission. Since the proposed modification focuses on the restaurant use, staff thought it necessary to have the use permit reviewed together with the PUD modification.

### **SITE DESCRIPTION**

The subject site is a relatively flat site located on the south side of Vineyard Avenue between the Mitchell Katz Winery/Palm Event Center and the signalized entrance to Ruby Hill. It is approximately 36 acres in size, a vineyard property planted by Signature Properties with Ruby Hill development and operated by Wentte Brothers. Access to the site is provided by an existing driveway from Ruby Hill Boulevard before the entrance kiosk. A seasonal drainage channel running in a north-south direction bisects the property.

Surrounding uses are the following:

North:	Gravel Quarries (Alameda County)
East:	Commercial (City of Livermore)
South:	Vineyards and Ruby Hill Development
West:	Vineyards and Ruby Hill Development



**Site Location**

## **PROJECT DESCRIPTION**

The proposal includes the following:

- \* Relocate the existing two-story, approximately 5,000-square-foot building toward Vineyard Avenue and to the east side of the seasonal drainage channel;
- \* Change the use of the existing building from a sales office to a restaurant;
- \* Create a basement area for use as a wine cellar/storage;
- \* Construct a new driveway off Vineyard Avenue and a parking lot with 100 parking spaces exclusively for the restaurant use;
- \* Remodel the building interior and operate a restaurant that serves dinner and holds private functions during non-dinner hours;
- \* Allow consumption of alcoholic beverages at the restaurant after 10:00 p.m.;
- \* Reserve the existing sales office location for the construction of a future residence; and,
- \* Review the proposed design guidelines for the future home.

When relocated, the building would be situated approximately 180 feet from Vineyard Avenue. It would be oriented northeasterly with the entryway directly facing the new driveway on Vineyard Avenue. A roundabout would be constructed in the front of the building to be used as a drop-off site for valet parking. The roundabout area will feature a fountain and decorative landscaping. The exterior of the building would remain as it currently is. The existing terrace area at the back of the building would be used primarily as the outdoor dining area when weather permits. This outdoor dining area would face southwest toward the vineyard, away from the existing residential properties at Ruby Hill. In addition to the terrace, the applicant proposes a courtyard located to the immediate south of the building. The proposed courtyard would be used exclusively during private functions; it would not be used as restaurant seating area.

The proposed restaurant would be open daily as follows:

- Sunday -Thursday: 6:00 p.m. to 10:00 p.m.
- Friday/Saturday, and the day before a federal holiday: 6:00 p.m. to 11:00 p.m.

The applicant also proposes to host private functions at the restaurant. These functions may include weddings, corporate events, etc. In order to offset any scheduling conflict and any potential impacts to the restaurant patrons, Ruby Hill residents, and the public in general, private functions may take place only during non-dining hours, i.e. between the hours of 11:00 a.m. to 5:00 p.m.

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The dining area within the restaurant would be provided on both the ground and the upper floors. An elevator would be installed to provide access to those in need. At full capacity, the restaurant could accommodate 230 people, with 180 seats within the restaurant and 50 seats in the terrace area. A parking lot is proposed to the east of the site entrance. It would have a total of 100 parking spaces for restaurant staff and patrons.

Some existing trees along Vineyard Avenue would be removed for the proposed driveway to the restaurant. Some of the existing vineyard would be removed for the construction of the parking lot. A preliminary landscaping plan is included in the proposal showing "perimeter landscaping" along Vineyard Avenue and "focused landscaping" at the restaurant entrance.

The proposed residential building pad is the current location of the sale office building. Access to and from the proposed residence would be via the existing driveway off Ruby Hill Boulevard. To prevent restaurant patrons from entering the restaurant from Ruby Hill Boulevard, a gate would be installed at the end of the drive isle. This gate, however, would be accessible by emergency vehicles when needed.

The design elements of the future residence are listed in the proposed design guidelines. The home would be a Tuscan style home blending into the vineyard setting.

Signage for the restaurant consists of a freestanding sign located at the entryway. The sign would be made of tempered glass with etched lettering.

Please refer to the attached Planning Commission staff report, dated May 9, 2007, and the proposed plans for additional project information.

#### **PLANNING COMMISSION ACTION**

The Planning Commission held a public hearing on May 9, 2007 to review the subject application. Detailed information on this meeting is provided by the attached excerpts of the Planning Commission minutes. Several members of the public spoke at the hearing in support of the proposed development and also discussed the size of the future home. The Commission approved the application on a 4-1 vote. Chairperson Fox voted against the proposal stating that she wishes to see a smaller sized home be constructed. The Commission modified the conditions as recommended by staff and added additional conditions. Please refer to Attachment 6 for the Planning Commission Meeting Minutes.

#### **DISCUSSION**

##### **General Plan and Land Use**

The subject site is designated by the Land Use Element of the Pleasanton General Plan for Agriculture and Grazing uses. The General Plan for this area encourages uses which relate to the outlying wine country. It calls for creating an attractive gateway to the Livermore Valley wine country and implementing wine country architectural and landscape design themes throughout the Vineyard Avenue corridor. The Vineyard Avenue Specific Plan contains similar land use objectives to encourage development of vineyards and related commercial uses.

The restaurant use is one of the uses allowed within the conservation easement area. Restaurants are often located in the wine-growing regions and, as such, would promote the local economy and attract tourism. It is appropriate to have a restaurant use at the

subject site as it is closely affiliated with the vineyards and will feature local wines. This is consistent with one of the policies of the South Livermore Valley Area Plan, adopted by Alameda County in 1993, which encourages the promotion of the area as a premier wine-producing center by encouraging appropriate tourist attractions and supporting uses such as the proposed restaurant.

Ruby Hill was allotted a housing cap of 850 residential units. In the past, two residential lots were combined into one for the construction of one single-family home, bringing the total residential lots in Ruby Hill from the original 850 lots to 849. The proposed home site for a single-family residential unit would bring the total number of unit back to the 850-lot housing cap and is, therefore, in conformance the Ruby Hill PUD.

### **Tri-Valley Conservancy**

The subject site is covered by an agricultural conservation easement granted to the Tri-Valley Conservancy (TVC), formerly South Livermore Valley Agricultural Land Trust. This proposal was reviewed and supported by the Board of Directors of TVC. The conservation easement benefiting the TVC limits non-vineyard use to a total of 2.5-acres of building envelope area. As such, the 2.5-acre area includes the restaurant location and area surrounding the restaurant, the parking lot, the building area for a future residence, and the driveway access to the home. TVC requested that the applicant amend the conservation easement to clearly describe building envelope, so that the building envelope would be physically demarcated from the vineyard areas. As conditioned, the applicant would amend the easement by preparing and recording a metes and bounds description of the building envelope, and would then place monuments at the property corners.

### **Site Design**

The proposed development has been reviewed by the Ruby Hill HOA at two separate meetings, and by a group of Ruby Hill homeowners whose homes would be closest to the subject site. The original proposal was to convert the existing sales office to a restaurant the existing location. The proposal generated concerns from Ruby Hill residents relating to noise, lighting, parking, and utility service infrastructure.

In response to the residents' concerns, the applicant proposes to relocate the building from the current location, and to orient the building northeasterly so that the terrace dining area at the rear of the building would face the vineyards and the Palm Event Center to the west instead of facing the residential sites to the south. The proposed location is the furthest location possible from the existing residential uses while containing it within the allocated 2.5-acre area and avoiding the existing drainage channel. The intention for this site design is to use the existing vineyard to separate the commercial use from the residential use and to shield any light and glare from vehicles at night.

The existing sales office location would be reserved for use as future home site.

## **Building Design**

Restaurant Building: No significant changes are proposed to the exterior of the existing sales office building which will be relocated adjacent to Vineyard Avenue. This building is an existing two-story building with one terrace area on the front and one at the rear. Please refer to the attached Planning Commission staff report for further details.

Future Residence: A building pad for a future residence is part of this application. The applicant has included design guidelines for a Tuscan style home. The design guidelines include a conceptual site plan that shows a U-shaped house with an interior courtyard facing east and calls for a one-story home. The home would have S-type or similar style roof tiles in terracotta, stucco walls with stone veneer, and wood framed doors and windows. The design guidelines specify the details for window trims, porches, eaves, etc. In addition, the design guidelines include samples of homes that exhibit typical features of a Tuscan style home.

Details related to window treatments, color and stucco finish texture etc. would be reviewed during the design review process. Staff recommends this design review process be a Zoning Administrator review.

At the Planning Commission on May 9, 2007, the applicant stated that the existing sales office building is approximately 6,600 square feet in size. The Planning Commission conditioned the habitable space for the future home to be no larger than 6,600 square feet in addition to 700 square feet for garage space.

## **Parking**

The Parking Ordinance requires one parking space for three seats in the dining area. It does not require parking for outdoor dining, as outdoor dinner is considered seasonal. At such, the proposed 180-seat dining area within the restaurant would require 60 parking spaces ( $180/3=60$ ). The existing parking should be adequate for dining room patrons as well as for staff. Additional parking may be needed during private functions. Overflow valet parking is available between the vineyards. Thus, the proposed 100-space parking lot would have adequate capacity to handle the parking demand for either use.

The driveway to the restaurant and the parking area would have a permeable surface, such as pavers or cobblestone to allow water to percolate through to meet the storm water management requirements. Handicap spaces would be provided near the restaurant entrance to meet the requirement of ADA and would likely require impervious pavement material.

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## **Traffic**

A traffic study was performed by Dowling and Associates to investigate the trip volume on Vineyard Avenue and the potential impacts on Vineyard Avenue and at various intersections. The City Traffic Engineer has reviewed the traffic report and concurred with its findings that the proposed restaurant would not have significant impacts on existing traffic. The ideal location for access to this facility is via Ruby Hill Boulevard

where there is a signalized intersection to provide controlled access to and from Vineyard Avenue. However, the proposed driveway at approximately 500 feet west of Vineyard Avenue/Ruby Hill Boulevard T-intersection would provide adequate sight distance for ingress and egress to the facility.

The report recommends mitigation measures including turning lanes in and out of the site to offset traffic congestion. To facilitate efficient site access for traffic on Vineyard, the applicant will install a left-turn pocket on Vineyard Avenue for westbound traffic entering the site and a deceleration lane for traffic exiting the site. As conditioned, the applicant is required to pay for the entire amount the construction and to complete the construction prior to commencement of the restaurant. However, because of the prior Development Agreement covering the property, the applicant is exempt from paying the current City and regional traffic mitigation fees.

### **Noise**

When relocated, the restaurant building would be approximately 1,000 feet from the nearest home in Ruby Hill. Staff understands that the noise from outdoor activities is a concern of the Ruby Hill residents. For this reason, there is a general prohibition for outdoor music events/performances taking place in the courtyard, dining terrace, or any other outdoor area at the facility. Staff, however, believes that private functions, such as weddings and similar events, should be allowed to take place outdoors such as in the courtyard area to take advantage of the scenery. Staff believes it is reasonable to request that acoustic-only music /voice accompaniment, e.g. acoustic guitar or piano, would be appropriate. As proposed, outdoor functions would only take place from 11:00 a.m. to 5:00 p.m. As conditioned, all events taking place at the restaurant must conclude operation by 11:00 p.m. The outdoor dining area would be required to close prior to 9:00 p.m. The proposed hours, music restrictions, and the distance from the facility to the residential sites would mitigate any of the perceived negative impacts Ruby Hill residents.

Acoustical and amplified music instruments are proposed for indoor events. Staff believes that any noise concerns would be mitigated through requiring windows and doors remain closed, but not locked, during business hours.

### **Signage**

A monument sign would be installed at the entrance to the restaurant fronting Vineyard Avenue. The sign would be tempered glass etched with the restaurant name "Liliom". The glass would be set in a pedestal, clad in limestone. Lighting would be provided from the slot where the glass inserted into the limestone. Staff believes the concept is appropriate; however, additional detail is needed. As conditioned, the applicant is required to submit a revised sign proposal with details for review and approval by the Planning Director.

### **Arborist Report**

HortScience Inc. surveyed and evaluated thirty-five (35) trees on site. Among them, 20 trees are located near the proposed home site, and the remaining 15 trees are at the



proposed restaurant location. The trees represent five species; coast live oak, London plane, and callery pear are among them. None of the trees are heritage-sized trees. The report states that 71 percent (20 trees) are in a good condition and the rest are in a moderate condition. The report recommends the removal of five trees (three London plane and two coast live oak) to accommodate the proposed driveway and the building relocations. To mitigate the loss of the existing trees, the proposed landscape plan shows that a total of 179 trees would be planted, and all of them are 24-inch box sized or larger.

### **Landscaping**

New landscaping would consist of olive trees, palms, crape myrtle, and Italian cypress with various shrubs, groundcover, and annuals grouped in the driveway, parking areas, fountain area, and courtyard.

The proposed landscaping theme could be categorized as “perimeter landscaping” and “focused landscaping”. The perimeter landscaping is the landscaping planted along the Vineyard Avenue frontage and in at the parking lot. Italian cypress would be planted along the parking lot edge.

The focused landscaping is proposed near the restaurant entrance and at the foundation area. The planting material chosen for this area are more decorative and ornamental specimens. Among a variety of roses and daylilies, the planting list includes bearded iris, common calla, veronica, seasonal annuals, etc.

### **Drainage**

As proposed, the vineyards would receive all storm water runoff from the building and the parking areas. This approach has been reviewed and accepted by the Public Works/ Engineering Department and is the same methodology as the other sites nearby. As conditioned, the applicant is required to submit a drainage plan to the City Engineer for review and approval prior to the issuance of a building permit.

### **PUD AND CONDITIONAL USE PERMIT FINDINGS**

The Pleasanton Municipal Code sets forth the purposes of the Planned Unit Development (PUD) District and the considerations to be addressed in reviewing a PUD development plan proposal or modifications of an approved development plan. Although the requested modification would not alter the agricultural/viticulture uses or the allowed building envelop on the subject site, it would allow a restaurant and home as part of the Ruby Hill PUD. The City Council must make findings that the proposed PUD major modification conforms to the purposes of the PUD District, before taking action. These findings are listed in Attachment 7.

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The City Council must also make findings prior to granting the conditional use permit for allowing serving alcoholic beverages after 10:00 p.m. These findings are listed in Attachment 8.

## **PUBLIC NOTICE**

Notices of the City Council's public hearing on this item were sent to the homeowners located in Ruby Hill and within 1,000-feet of the subject property. Staff has not received any comments pertaining to the proposed project as of the time the staff report was written.

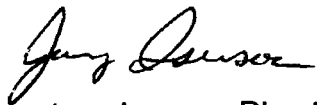
## **ENVIRONMENTAL ASSESSMENT**

A Negative Declaration was prepared in conjunction with the proposed development. Based on the Initial Study and Negative Declaration, the project would not have a significant effect on the environment. The proposed project plans have been revised to include building relocation, independent driveway to the restaurant, separating the regular dining hours from private event functions, and restriction on noise. These revisions have avoided significant effects or mitigated the project by design to a point where the effects are insignificant and there is no substantial evidence that the project as revised may have a significant effect.

## **CONCLUSION**

The proposed restaurant and the future residential pad would establish a compatible use and would meet the goals of the Pleasanton General Plan and the South Livermore Valley Area Plan. It is appropriate to retain the existing building as it fits in with the surrounding area.. The design details specified in the design guidelines for the future residence include many architectural features that are seen in wineries of the Napa/Sonoma area. The fountain and the entrance are the focal point, while the terrace and the inner courtyard area create an attractive outdoor space. The views of the restaurant entering the site from Vineyard Avenue would reinforce the winemaking heritage of the Ruby Hill area and, additionally, would work well with the nearby event centers. As proposed and conditioned, the project would be compatible with Ruby Hill.

Submitted by:



Jerry Iserson, Director  
Director of Planning  
and Community Development

Fiscal Review:



David P. Culver  
Director of Finance

Approved by:



Nelson Fialho  
City Manager

### **Attachments:**

1. Exhibit A, Site Plan, Floor Plans, Building Elevations, Landscaping Plan, and Design Guidelines, dated "Received April 20, 2007"
2. Draft Ordinance for PUD-93-02-09M, with Exhibit B-1, Conditions of Approval
3. Draft Resolution for PCUP-182, with Exhibit B-2, Conditions of Approval
4. Draft Resolution adopting the Negative Declaration for PUD-93-02-09M, with the Negative Declaration
5. Planning Commission Staff Report, dated May 9, 2007, without attachments
6. Excerpts from the May 9, 2007 Planning Commission Meeting Minutes.
7. Findings for the PUD Development Plan Major Modification, PUD-93-02-09M

8. Findings for the Conditional Use Permit, PCUP-182
9. Ruby Hill Conversion Traffic Study, prepared by Dowling Associates, Inc., dated September 18, 2006
10. Letter from Laura Mercier, Associate Director of Tri-Valley Conservancy, dated June 7, 2007
11. Location Map

## CONSENT CALENDAR

9. Public Hearing: PUD-93-02-09M/PCUP-182, Barnabas Nagy – Introduced Ordinance No. 1956 approving an application for a major modification to the Ruby Hill PUD development plan to relocate the existing sales office building on Ruby Hill Boulevard northwesterly along Vineyard Avenue, change the existing office use to restaurant use, revise the configuration of the existing parking lot, establish a new driveway off of Vineyard Avenue, and establish a pad location and design guidelines for a future single-family residence; adopted Resolution No. 07-132 approving conditional use permit to allow alcoholic beverage service at the restaurant after 10:00 p.m. The property is located at 2001 Ruby Hill Boulevard and is zoned PUD/OS/A/LDR (Planned Unit Development/Open Space/Agriculture/Low Density Residential) District; and adopted Resolution No. 07-133 approving the Negative Declaration prepared for the project

Councilmember McGovern said she was surprised Item 9 was on Consent, but noted the community and builder have worked out issues and there was agreement. City Manager Fialho said the project went through a public hearing process with the Planning Commission and the staff report reflects comments from that hearing, with the exception of one email which was distributed to the Council. There was no registered opposition to the project, and therefore, staff placed it on Consent.

Councilmember Sullivan said he also had the same question, and City Manager Fialho said it was at the Council's discretion as to where it should be placed on the agenda, but because agendas were full, they include non-controversial items knowing that the option was to remove it or continue it to another meeting. He confirmed there was no public comment on the item.

Councilmember McGovern asked for a description of the development and Director of Planning and Community Development Jerry Iserson noted that the new restaurant for the Ruby Hill development would be moved to where the existing sales office is located, and the office will be relocated to the northwest portion of the site toward Vineyard Avenue. With this change, the community was fully in support of the proposal. He noted an email was received regarding concern of their use permit that would allow the sales of alcoholic beverages beyond 10:00 p.m. He said the restaurant would be open until 10:00 p.m. only from Sunday through Thursday and open until 11:00 p.m. on Friday, Saturday and a holiday night.

Councilmember Sullivan noted he would be voting no on Item 10, and Councilmember McGovern announced that she provided minor corrections to Item 1.

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Motion: It was m/s by Sullivan/Thorne to approve Consent Calendar Items, as amended to include changes on the minutes per Councilmember McGovern and as noted. Motion passed by the following vote:

Ayes: Cook-Kallio, McGovern, Sullivan, Thorne, Mayor Hosterman  
Noes: None  
Absent: None  
Abstain: None

**ORDINANCE NO. 1956**

**AN ORDINANCE APPROVING THE APPLICATION OF BARNABAS NAGY FOR A PUD MAJOR MODIFICATION, AS FILED UNDER CASE PUD-93-02-09M**

**WHEREAS**, Barnabas Nagy has applied for a PUD major modification to the Ruby Hill PUD Development Plan to relocate the existing sales office building on Ruby Hill Boulevard northwesterly along Vineyard Avenue, change the existing office use to restaurant use, and establish a pad location and design guidelines for a future single-family residence; and for a conditional use permit to allow alcoholic beverage service at the restaurant after 10:00 p.m., at the property located at 2001 Ruby Hill Boulevard; and

**WHEREAS**, zoning for the property is PUD-OS/A/LDR (Planned Unit Development – Open Space/Agriculture/Low Density Residential) District; and

**WHEREAS**, based on the Initial Environmental Study and pursuant to Resolution No. 07-133, the City Council adopted the Negative Declaration for the proposed project at its meeting of June 19, 2007; and

**WHEREAS**, pursuant to Resolution No. 07-132, the City Council approved the application of Barnabas Nagy for a conditional use permit to allow alcoholic beverage service at the restaurant after 10:00 p.m.; and

**WHEREAS**, the City Council received the Planning Commission's positive recommendations for approval of the PUD major modification for the subject site; and

**WHEREAS**, the City Council finds that the PUD major modification is consistent with the General Plan policies and the purposes of the PUD ordinance of the City of Pleasanton.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PLEASANTON DOES HEREBY ORDAIN AS FOLLOWS:**

**SECTION 1.** Approves Case PUD-93-02-09M, the application of Barnabas Nagy for a PUD major modification to the Ruby Hill PUD Development Plan to relocate the existing sales office building on Ruby Hill Boulevard northwesterly along Vineyard Avenue, change the existing office use to restaurant use, and establish a pad location and design guidelines for a future single-family residence at the property located at 2001 Ruby Hill Boulevard, subject to the conditions shown on Exhibit B, attached hereto and incorporated herein by this reference.

**SECTION 2.** A summary of this ordinance shall be published once within fifteen (15) days after its adoption in "The Valley Times," a newspaper of general circulation published in the City of Pleasanton, and the complete ordinance shall be posted for fifteen (15) days in the City Clerk's office within fifteen (15) days after its adoption.

**SECTION 3.** This ordinance shall be effective thirty (30) days after its passage and adoption.

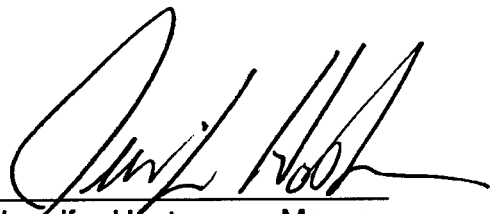
**ADOPTED** at a regular meeting of the City Council of the City of Pleasanton on July 17, 2007.

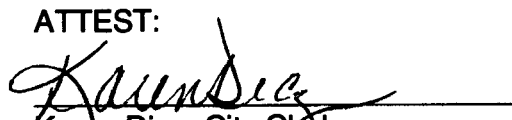
The foregoing Ordinance was introduced at a regular meeting of the City Council of the City of Pleasanton on June 19, 2007 by the following vote:

Ayes: Councilmembers Cook-Kallio, McGovern, Sullivan, Thorne, Mayor Hosterman  
Noes: None  
Absent: None


And adopted at a regular meeting of the City Council of the City of Pleasanton on July 17, 2007 by the following vote:

Ayes: Councilmembers Cook-Kallio, McGovern, Thorne, Mayor Hosterman  
Noes: None  
Absent: Councilmember Sullivan

  
Jennifer Hosterman, Mayor

ATTEST:  
  
Karen Diaz, City Clerk

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APPROVED AS TO FORM:  
  
Michael H. Roush, City Attorney

**EXHIBIT B  
CONDITIONS OF APPROVAL**

**PUD-93-02-9M, Barnabas Nagy  
2001 Ruby Hill Boulevard  
June 19, 2007**

**General Conditions:**

1. The proposed restaurant shall be relocated, operated and maintained in substantial conformance to the development plans and supportive materials, Exhibit A, dated "Received April 20, 2007" on file with the Planning Department, except as modified by the following conditions. Minor changes to the plans may be allowed subject to the approval of the Planning Director if found to be in substantial conformance to the approved exhibits. The applicant shall submit color samples for the review and approval of the Planning Director.
2. All conditions of Case PUD-93-02 shall remain in full force and effect unless otherwise modified herein, except that PUD-93-02 is modified to allow the operation of the restaurant covered by this approval as a conditionally permitted use.
3. The project developer shall obtain a building permit from the Building and Safety Division and any other applicable City permits for the project prior to the commencement of any construction.
4. The project developer shall pay any and all fees to which the property may be subject prior to issuance of building permits. Except for the sewage connection fees, the type and amount of the fees shall be those in effect at the time the building permit is issued. The sewage connection fees shall be paid to the City of Livermore. Evidence of the payment of these fees shall be provided to the Director of Building and Safety before issuance of the building permit. Because of the prior development Agreement covering the property, the project developer is exempt from paying the current City and regional traffic mitigation fees.
5. The proposed outdoor lighting for the subject property shall be of low intensity and shielded in order to minimize its visibility from off-site. Outdoor lighting shall also not glare onto adjacent properties or streets. Exterior lighting shall use the lowest wattage and shall limit the number of fixtures to attain the lowest luminosity. Fixtures shall be no greater than 14 feet in height, including any pedestal assembly, and shall be "shoebox" shielded standards or equal. The design of all lighting shall be reviewed and approved by the Planning Director. The lighting shall utilize photocells and timers to shut off lighting when the facility is not in use. The parking, building, and general site security lighting shall be the

minimum allowed by the Police Department. The applicant shall submit a photometric plan which shall include the following:

- Photometric calculations detailing all exterior security lighting,
  - Foot-candle calculations,
  - Fixture schedule, and
  - Cut sheets for light fixtures identifying the specific luminary and lamp manufacturer.
6. The PUD development plan modification and conditional use permit approvals will lapse and shall be void within two years following the effective date of the City Council approval, unless a building permit is issued and construction has commenced and is diligently pursued toward completion or an extension has been approved by the City.
  7. This approval does not guarantee the availability of sufficient water to serve the project. The City shall withhold building permits for the project if at the time building permits are applied for, mandatory water rationing is in effect, unless the City has adopted a water offset program and unless the project developer is participating in the program. Notwithstanding the project developer's participation in such a program, the City may withhold building permits if the City determines that sufficient water is not available at the time of application of building permits.
  8. Prior to issuance of a building permit, the project developer shall pay the applicable Zone 7 and City connection fees and water meter cost for any water meters, including irrigation meters. Additionally, the project developer shall pay any applicable Dublin San Ramon Services District (DSRSD) sewer permit fee.
  9. The building permit plan check materials will be accepted for submittal only after completion of the 15-day appeal period, measured from the date of the approval letter, unless the project developer submits a signed statement acknowledging that the plan check fees may be forfeited in the event that the approval is overturned on appeal, or that the design is significantly changed as a result of the appeal. In no case will a building permit be issued prior to the expiration of the 15-day time-period.

**Planning Requirements:**

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10. All conditions of approval shall be written by the project developer on all building permit plan check sets submitted for review and approval or attached and become a part of this plan set. These conditions of approval shall be on, at all times, all construction plans kept on the project site. It is the responsibility of the building developer to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Planning Department must



be received before any changes are constituted in site design, building design, etc.

11. The project developer shall submit a waste management plan to the Building and Safety Division prior to issuance of building or demolition permits. The plan shall include the estimated composition and quantities of waste to be generated and how the project developer intends to recycle at least 50% of the total job site construction and demolition waste measured by weight or volume. Proof of compliance shall be provided to the Chief of Building and Safety prior to the issuance of a final building permit. During demolition and construction, the project developer shall mark all trash disposal bins "trash materials only" and all recycling bins "recycling materials only". The project developer shall contact Pleasanton Garbage Service for the disposal of all waste from the site.
12. The project developer shall prepare and record a metes and bounds description delineating the building envelope areas, including the entire event center and winery area covered by this application and the envelope area for the existing residence and three existing accessory buildings shown on the site plan. The metes and bounds description shall be prepared to the satisfaction of the City Engineer, shall be reviewed by representatives of the Tri-Valley Conservancy before its recordation, and shall then be recorded before occupancy of the buildings covered by this approval. In order to clearly demarcate these areas in the field, the project developer shall place brass property corners/hubs in conformance to the metes and bounds description before occupancy of the buildings covered by this approval.
13. The applicant shall submit a design review application for the future residence to staff. The design review process shall following the requirements specified in Chapter 18.20 of the Pleasanton Municipal Code.
14. The applicant shall submit sign details to the Planning Director for review and approval before installation.
15. Back-up generators shall not be allowed except in emergencies where products may be at risk of spoiling.
16. The placement of any portable restroom facilities for harvesting shall be located in a visually screened area and shall be reviewed and approved by the Planning Director. After the initial determination by the Planning Director, all future placements shall correspond to the prescribed location, unless otherwise approved.
17. The restaurant building, its surroundings, and the parking area shall be maintained in a professional manner at all times. If the site is not maintained in a professional manner and becomes a nuisance, at the discretion of the Planning Director, the City will initiate code enforcement actions. If the property owner

fails to conform, the City may take action to clean the site, and/or to remove the building, including but not limited to, placing a lien against the property to cover the costs of cleaning/removal.

18. Prior to the issuance of a building permit, the applicant shall implement mitigation measures as recommended in the Traffic Study, prepared by Dowling & Associates, dated "Received September 20, 2006" on file in the Planning Department, or as otherwise determined by the City Traffic Engineer.
19. Final inspection by the Planning Department is required prior to occupancy.
20. The design guidelines shall include that the development standards for the future residence shall follow those specified for the R-1-20,000 District with a maximum habitable area not to exceed 6,600 square feet and a 700-square-foot garage exemption.
21. The future home shall achieve a "green home" rating as specified in Alameda County Waste Management Authority's "Single-Family Green Building Rating System," current edition at the time of building permit submittal. A list of the green building measures shall be submitted in conjunction with the plans submitted for issuance of building permits and shall be subject to the review and approval by the Planning Director prior to issuance of building permits for the project.

**Building and Site Design Requirements:**

22. The driveway and parking area shall be surfaced with a decomposed granite material. Surfacing shall be completed before occupancy of the restaurant building and shall be maintained by the property owner/operator.
23. The project developer shall post address numerals on the building so as to be plainly visible from all adjoining streets or driveways during both daylight and night time hours.
24. The project developer shall effectively screen from view all ducts, meters, air conditioning equipment, and any other mechanical equipment, whether on the structure, on the ground, or on the roof, with materials architecturally compatible with the main structure. The plans shall reflect the location of any above ground utilities to provide adequate review of screening. Roof mounted equipment shall be designed, installed, and maintained so that the equipment does not project above a horizontal plane established by the buildings perimeter roof. All screening details shall be shown on the plans submitted for issuance of building permits, the adequacy of which shall be determined by the Planning Director, and shall be provided prior to occupancy.

25. All trash and refuse shall be contained completely within enclosures architecturally compatible with the main structure. The materials and color of the enclosure walls shall match the building walls, and the gates shall be corrugated metal or solid wood. The design of the enclosures shall be shown on the plans submitted for issuance of building permits, subject to the approval of the Planning Director. Trash containers shall be stored within the enclosure at all times, except when being unloaded. Trash enclosures which are sized to contain dumpsters with an individual capacity of 1.5 cubic yards located within five feet of unprotected building openings, combustible walls, or combustible roof eaves shall be provided with an automatic fire sprinkler system.
26. The location of any pad-mounted transformers shall be subject to approval by the Planning Director prior to issuance of permits by the Building and Safety Division. Such transformers shall be screened by landscaping or contained within an enclosure matching the building and with corrugated metal gates. All transformers shall be shown on the plans submitted for issuance of building permits.
27. The approved building materials and colors shall be stated on the plans submitted for issuance of building permits.
28. All backflow prevention devices, above ground irrigation controls, and above ground irrigation meters shall be located and screened so as to minimize visual impacts. The location of all backflow prevention devices, above ground irrigation controls, and above ground irrigation meters and the quantity and type of proposed landscape screening shall be subject to the review and approval of the Planning Director prior to installation.

**Landscaping and Irrigation System Design and Operation:**

29. No trees shall be removed other than those specifically designated for removal on the approved plans or tree report. The project developer shall post cash, letter of credit, or other security satisfactory to the Planning Director in the amount of five thousand dollars (\$5,000) for each tree required to be preserved, up to a maximum of twenty-five thousand dollars (\$25,000). This cash bond or security shall be retained for two year following completion of construction and shall be forfeited if the trees are removed, destroyed, or disfigured. For trees that are removed, destroyed, or disfigured during construction, the applicant shall pay a fine in the amount equal to the appraised value of the subject tree. If the fine based on the appraised value of the tree(s) exceeds the bond amount, the applicant shall pay the difference between the bond and the appraised value of the subject tree(s).
30. The project developer shall enter into an agreement with the City, approved by the City Attorney, which guarantees that all landscaping and open space areas included in this project will be maintained at all times in a manner consistent with

the approved landscape plan for this development. Said agreement shall run with the land for the duration of the existence of the structures located on the subject property.

31. All trees used in landscaping be a minimum of 15-gallons in size and all shrubs a minimum of five gallons, unless otherwise shown on the approved landscape plan or otherwise approved by the Planning Director.
32. The project developer shall provide root control barriers and four-inch perforated pipes for parking lot trees and trees in planting areas less than 10-feet in width, as determined necessary by the Planning Director at the time of review of the final landscape plans.
33. Prior to occupancy, the landscape architect shall certify in writing to the Planning Director that the landscaping has been installed in accordance with the approved landscape and irrigation plans with respect to size, number, and species of plants and overall design concept.
34. The project developer shall adjust the sprinkler heads to redirect the water away from the monument sign if proposed, while ensuring complete irrigation coverage of the landscaping around the sign. All landscaping around the sign shall be restored after installation of the sign and prior to final of the sign permit.
35. The applicant shall follow the tree protection measures as stated in the tree report, on file as Exhibit A in the Planning Department. All tree protections measures shall be stated in the construction drawings prior to the issuance of a building permit.
36. The final landscape plan shall include planting at the existing sales office location after the building is relocated so that adequate planting would be provided until such time that the home is construction. Said plan is subject to the review and approval by the Planning Director, and the planting shall be complete prior to the occupancy of the restaurant.

**Building Permit Review:**

37. The buildings covered by this approval shall be constructed to meet Title 24 state energy requirements.
38. All building and/or structural plans must comply with all codes and ordinances in effect before the Building and Safety Division will issue permits.
39. The project developer shall submit a building survey and/or record of survey and a site development plan in accordance with the provisions of Chapter 18.68 of the Municipal Code of the City of Pleasanton. These plans shall be approved by the Chief Building Official prior to the issuance of a building permit. The site

development plan shall include all required information to design and construct site, grading, paving, drainage, and utilities. Specific items to be indicated on the site development plan necessary to construct the improvements are to be in accordance with the City of Pleasanton Private Development Design Guidelines adopted April 15, 1986.

40. A sanitary sewer-sampling manhole shall be provided on each of the sanitary sewer lateral from each building, unless otherwise waived by the Chief Building Official.
41. The project developer shall submit two copies of the site soils report to the Chief Building Official at the time plans are submitted for the first building plan check review. When deemed necessary by the Chief Building Official, a third party peer review of the soil report shall be completed. The City will select all third party peer reviewers. All third party peer reviews shall be paid for by the project developer at the time specified by the Chief Building Official.
42. The soils engineer shall certify the pad compactions of all lots containing fill to the satisfaction of the Chief Building Official prior to the issuance of building permits.

**Construction Requirements:**

43. All construction activities shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday. In addition, no construction shall be allowed on federal holidays. The Planning Director may allow earlier "start-times" for specific construction activities (e.g., concrete-foundation/floor pouring), if it can be demonstrated to the satisfaction of the Planning Director that the construction and construction traffic noise will not affect nearby residents. All construction equipment must meet Department of Motor Vehicles (DMV) noise standards and shall be equipped with muffling devices.
44. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or sleeping quarters on the construction site. All such vehicles shall be removed from the site at the end of each workday.
45. A temporary construction trailer shall be allowed on site during construction for use during the allowed hours of operation.
46. If archeological materials are uncovered during grading, trenching, or other on-site excavation, all work on site shall be stopped and the City immediately notified. The county coroner and the Native American Heritage Commission shall also be notified and procedures followed as required by the California Environmental Quality Act (CEQA). A similar note shall appear on the building permit plans.

47. Portable toilets used during construction shall be emptied on a regular basis as necessary to prevent odor and shall be located the furthest distance from the Ruby Hill homes.

**Fire Department Requirements:**

48. The project developer shall meet all requirements of the Pleasanton Fire Code (Pleasanton Municipal Code, Chapter 20.24).
49. The building covered by this approval shall be equipped with an automatic fire sprinkler system. Plans and specifications for the automatic fire sprinkler system shall be submitted to the Pleasanton Building and Safety Division for review and approval prior to installation. The fire alarm system, including waterflow and valve tamper, shall have plans and specifications submitted to Fire Prevention for review and approval prior to installation. All required inspections and witnessing of tests shall be completed prior to final inspection and occupancy of the building(s). The fire alarm system shall be monitored in accordance with the Pleasanton Municipal Ordinance #1778. The fire alarm system shall transmit zone information to a UL listed Central Station as specified in the Ordinance.
50. The project developer shall keep the site free of fire hazards from the start of lumber construction until the final inspection.
51. Prior to any construction framing, the project developer shall provide adequate fire protection facilities, including, but not limited to surface roads, fire hydrants, and a water supply and water flow in conformance to the City's Fire Department Standards able to suppress a major fire.
52. The Fire Chief and the Chief Building Official shall approve the number, type, and location of all private fire hydrants, if required.
53. All curbs located with a seven-foot, six-inch radius of a public/private fire hydrant shall be painted red, unless, modified by the Fire Chief. Blue street "hydrant markers" shall be installed for all fire hydrants per City of Pleasanton Standard Specifications.
54. All driveway aisles designated as fire lanes by the Fire Chief shall be maintained in accordance with Articles 9 and 10 of the Uniform Fire Code, which permits towing vehicles illegally parked on the fire lanes. Fire lane curbs shall be painted red with "No Parking, Fire Lane, Tow Away Zone" in white lettering on the curb, or shall be signed, "No Parking, Fire Lane, Tow Away Zone", as required by the California Vehicle Code.
55. A permit issued by the Fire Chief is required prior to any installation of a fire detection, alarm, and occupant notification system. All sprinkler system water flow and control valves shall be complete and serviceable prior to final

inspection. Prior to the occupancy of a building having a fire alarm system, the Fire Department shall test and witness the operation of the fire alarm system.

56. All portions of the building covered by this approval shall have installed and operating, fire extinguishers with a minimum 2-A:10-B:C rating. The fire extinguishers shall be located within a 75-foot radius of each other.
57. The applicant shall submit the design of the EVA gate to the Fire Marshall for review and approval prior to the issuance of a building permit.
58. The applicant shall show turning radius details on the parking lot circulation plan for the review and approval by the Fire Marshal. The driveway shall be designed to hold the load of loaded fire truck, and is subject to the review and approval by the Fire Marshal prior to the issuance of a building permit.
59. The applicant shall provide a fire hydrant for the proposed development. The details of the fire hydrant shall be submitted to the Fire Marshal for review and approval prior to occupancy.

**Engineering Requirements:**

60. The applicant shall submit a detailed sanitary sewer design for the review and approval by the City Engineer prior to issuance of a building permit.
  61. All utilities required to serve the proposed development on-site shall be installed underground.
  62. The project developer shall submit a refundable cash bond for hazard and erosion control prior to issuance of an Engineering or Building and Safety Division permit. The amount of this bond will be determined by the City Engineer.
  63. The haul route for all materials to and from this development shall be approved by the City Engineer prior to the issuance of an encroachment permit.
  64. The project developer shall submit a dust control plan or procedure as part of the building permit plans.
  65. Storm drainage swales shall be privately maintained by the property owner.
- 
66. The design of the water supply systems shall be subject to the review and approval of the City Engineer.
  67. Any damage to existing public streets during construction on the subject property shall be repaired to the satisfaction of the City Engineer at full expense to the

project developer. This shall include slurry seal, overlay, or street reconstruction if deemed warranted by the City Engineer.

68. The project developer's contractor(s) shall obtain an encroachment permit from the City Engineer prior to moving any construction equipment onto the site.

**Urban Stormwater Runoff Requirements:**

**Stormwater Design Requirements**

69. The project shall comply with the Alameda Countywide NPDES Permit #CA50029831, a copy of which is available at the City offices.
70. The following requirements shall be incorporated into the project:
- a) The project developer shall submit a final grading and drainage plan prepared by a licensed civil engineer depicting all final grades and on-site drainage control measures. This plan shall be subject to the review and approval of the City Engineer prior to the issuance of any building permits.
  - b) The project developer shall submit sizing design criteria to treat stormwater runoff at the time of plan submittal.
  - c) Landscaping shall be designed to minimize irrigation and runoff, promote surface infiltration where appropriate, and minimize the use of fertilizers and pesticides that can contribute to stormwater pollution.
    - 1) Structures shall be designed to discourage the occurrence and entry of pests into buildings, thus minimizing the need for pesticides.
    - 2) Where feasible, landscaping shall be designed and operated to treat stormwater runoff. In areas that provide detention of water, plants that are tolerant of saturated soil conditions and prolonged exposure to water shall be specified. Soil shall be amended as required.
    - 3) Plant materials selected shall be appropriate to site specific characteristics such as soil type, topography, climate, amount and timing of sunlight, prevailing winds, rainfall, air movement, patterns of land use, ecological consistency and plant interactions to ensure successful establishment.
    - 4) Landscaping shall comply with City of Pleasanton ordinances and policies regarding water conservation.
-



- d) Trash areas, dumpsters, and recycling containers shall be enclosed and roofed to prevent water run-on to the area and runoff from the area and to contain litter and trash, so that it is not dispersed by the wind or runoff during waste removal. These areas shall not drain to the storm drain system, but to the sanitary sewer system and an area drain shall be installed in the enclosure area, providing a structural control such as an oil/water separator or sand filter. No other area shall drain into the trash enclosure; a berm shall be installed to prevent such drainage if found necessary by the City Engineer/Chief Building Official. A sign shall be posted prohibiting the dumping of hazardous materials into the sanitary sewer. The project developer shall notify the Dublin-San Ramon Services District (DSRSD) upon installation of the sanitary connection; a copy of this notification shall be provided to the Planning Department.
- e) Prior to grading permit issuance the project developer shall submit a copy of the State Water Resources Control Board Notice of Intent (NOI) for coverage under the State Construction Storm Water General Permit for projects with clearing, grading and excavation exceeding the current standards.

#### **Stormwater Construction Requirements**

- 71. The project development shall submit a Stormwater Pollution Prevention Plan (SWPPP) for review and approval by the City Engineer prior to issuance of building or grading permits. Failure to comply with the approved construction SWPPP may result in the issuance of correction notices, citations or stop work order. The following construction Best Management Practices (BMPs), as well as any other applicable measure, shall be included in the SWPPP and implemented as approved by the City.
- 72. The project developer is responsible for implementing the following measures during all construction phases of the project:
  - a) The project developer shall include erosion control/storm water quality measures on the final grading plan which shall specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, hay bales, sandbags, and siltation fences and are subject to the review and approval of the City Engineer/Chief Building Official. If no grading plan is required, necessary erosion control/storm water quality measures shall be shown on the site plan submitted for an on-site permit, subject to the review and approval of the Chief Building Official. The project developer is responsible for ensuring that the contractor is aware of and implements such measures.

- b) Gather all construction debris on a regular basis and place it in a dumpster or other container which is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water runoff pollution.
- c) Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement and storm drains adjoining the site. Limit construction access routes onto the site and place gravel on them. Do not drive vehicles and equipment off paved or graveled areas during wet weather. Broom sweep the street pavement adjoining the project site on a daily basis. Scrape caked-on mud and dirt from these areas before sweeping.
- d) Install filter materials (such as sandbags, filter fabric, etc.) at the storm drain inlet nearest the downstream side of the project site in order to retain any debris or dirt flowing in the storm drain system. Maintain and/or replace filter materials to ensure effectiveness and to prevent street flooding.
- e) Create a contained and covered area on the site for the storage of bags, cement, paints, oils, fertilizers, pesticides, or other materials used on the site that have the potential of being discharged into the storm drain system through being windblown or in the event of a material spill.
- f) Never clean machinery, equipment, tools, brushes, or rinse containers into a street, gutter, or storm drain.
- g) Ensure that concrete/gunite supply trucks or concrete/plaster operations do not discharge wash water into street, gutters, or storm drains.

**73. Stormwater Operation Requirements**

The project, unless otherwise determined by the City Engineer or Chief Building Official, shall enter into a recorded Stormwater Treatment Measures Inspection and Maintenance Agreement for ongoing maintenance and reporting of required stormwater measures. These measures may include, but are not limited to:

- a) On-site storm drain inlets clearly marked and maintained with the words "No Dumping – Drains to Bay."
  - b) Proper maintenance of landscaping, with minimal pesticide and fertilizer use.
- 
- c) Ensure wastewater from vehicle and equipment washing operations is not discharged to the storm drain system.
  - d) Ensure that no person shall dispose of, nor permit the disposal, directly or indirectly, of vehicle fluids, hazardous materials or rinsewater from cleaning tools, equipment or parts into storm drains.

- e) Clean all on-site storm drains at least twice a year with one cleaning immediately prior to the rainy season. The City may require additional cleanings.
- f) Regularly but not less than once a month, sweep driveways, sidewalks and paved areas to minimize the accumulation of litter and debris. Corners and hard to reach areas shall be swept manually. Debris from pressure washing shall be trapped and collected to prevent entry into the storm drain system. Wastewater containing any soap, cleaning agent or degreaser shall not be discharged into the storm drain.

*{end}*

**RESOLUTION NO. 07- 132**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PLEASANTON, APPROVING A CONDITIONAL USE PERMIT FOR BARNABAS NAGY, AS FILED UNDER CASE PCUP-182**

**WHEREAS**, Barnabas Nagy has applied for a PUD major modification to the Ruby Hill PUD Development Plan to relocate the existing sales office building on Ruby Hill Boulevard northwesterly along Vineyard Avenue, change the existing office use to restaurant use, and establish a pad location and design guidelines for a future single-family residence; and for a conditional use permit to allow alcoholic beverage service at the restaurant after 10:00 p.m., at the property located at 2001 Ruby Hill Boulevard; and

**WHEREAS**, zoning for the property is PUD-OS/A/LDR (Planned Unit Development – Open Space/Agriculture/Low Density Residential) District; and

**WHEREAS**, a duly noticed public hearing was held before the City Council on June 19, 2007, at which time all pertinent testimony and documents were received; and

**WHEREAS**, the City Council determined that the proposed conditional use permit is consistent with the approval of similar use permits for other similar projects.

**NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF PLEASANTON DOES RESOLVE, DECLARE, DETERMINE, AND ORDER THE FOLLOWING:**

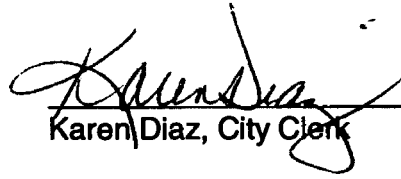
**SECTION 1.** Approves Case PCUP-182, the application of Barnabas Nagy for a conditional use permit to allow alcoholic beverage service after 10:00 p.m., at the restaurant to be located at 2001 Ruby Hill Boulevard, subject to the conditions of approval shown on Exhibit B, attached hereto and incorporated herein by this reference.

**SECTION 2.** This resolution shall become effective upon the effective date of Ordinance No. 1956.


**PASSED, APPROVED, AND ADOPTED** by the City Council of the City of Pleasanton at a regular meeting held on June 19, 2007.

I, Karen Diaz, City Clerk of the City of Pleasanton, California, certify that the foregoing resolution was adopted by the City Council at a regular meeting held on the 19<sup>th</sup> day of June 2007, by the following vote:

Ayes: Councilmembers Cook-Kallio, McGovern, Sullivan, Thorne, Mayor Hosterman  
Noes: None  
Absent: None

  
Karen Diaz, City Clerk

APPROVED AS TO FORM:

  
Michael H. Roush, City Attorney

**EXHIBIT B  
CONDITIONS OF APPROVAL**

**PCUP-182, Barnabas Nagy  
2001 Ruby Hill Boulevard  
June 19, 2007**

1. Approval of this conditional use permit shall be contingent upon approval of the PUD development modification, Case No. PUD-93-02-09M.
2. The operation of the proposed restaurant shall be in substantial conformance to the written narratives, dated "Received April 20, 2007" on file in the Planning Department, except as modified by the following conditions. Minor changes to the operation may be allowed subject to the approval of the Planning Director if found to be in substantial conformance to the approved exhibits.
3. The proposed facility shall conform to the following hours of operations:

Dining Hours:

Sunday- Thursday: 6:00 p.m. to 10:00 p.m.

Friday/Saturday, and the day  
before a federal holiday: 6:00 p.m. to 11:00 p.m.

Private Functions:

Daily: 11:00 a.m. – 5:00 p.m.

Any outdoor-related events shall conclude by no later than 9:00 p.m. daily. Additional hours and activities beyond that stated may be approved by the Planning Director if found to be in substantial conformance with the approval. The Planning Director may also refer the matter to the Planning Commission if the proposed changes would be significant.

4. Valet parking shall be provided during private functions and shall not block or impede any emergency vehicle access.

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5. Acoustic-only, non-amplified music /voice accompaniment, e.g. acoustic guitar or piano, shall be allowed outside the building. A string quartet shall also be allowed to play outside the building.
6. Amplified musical instruments and DJ's shall only allowed indoors.

7. All exterior doors and windows shall be closed, but not locked, at all time during the events.
8. Terrace dining shall be strictly seasonal and weather permitting. Special light will be allowed but must not be a nuisance and may only be used during dining hours.
9. If operation of this use permit results conflicts pertaining to parking, noise, traffic, or other impacts, at the discretion of the Planning Director, this conditional use permit may be referred to the planning Commission for subsequent review at a public hearing. If necessary, the Planning Commission may modify or add conditions of approval to mitigate such impacts, or may revoke said conditional use permit.
10. The applicant shall obtain all necessary approvals from the Department of Alcoholic Beverage Control prior to serving alcohol.
11. Prior to start of employment, employees that serve alcohol shall undergo a training program such as TIPS (Training for Intervention Procedures) that is designed to prevent intoxication, underage drinking, and drunk driving.
12. A full menu shall be available for patrons of the restaurant during the operating hours and when alcoholic beverages are served.

*{end}*