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**List of Exhibits:**

Cover Sheet  
 Conceptual Landscape Planting Plan  
 Site Plan  
 Grading and Drainage Plan  
 Utility Plan  
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Vicinity Map: N.T.S.



**PLEASANTON MEMORY CARE FACILITY**

Pleasanton CA

2010205

04-01-11

*PWD-0501M/  
 P3PA-4*

**RECEIVED**

**SEP 20 2011**

**CITY OF PLEASANTON  
 PLANNING DIVISION**

**EXHIBIT B**

**PETRA REALTY INVESTORS**  
 3775 Beacon Ave, Ste 200  
 Fremont CA 94538  
 (510) 474-1001

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 477 S. Taaffe St.  
 Sunnyvale CA 94086  
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**MATHEOU CIVIL ENGINEERING, INC.**  
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www.reedass.com; email: jreed@reedass.com

**PLEASANTON  
MEMORY CARE  
PROJECT**

5980 & 5988 SUNOL BLVD.  
PLEASANTON, CA

ISSUE	DATE



**OWNERSHIP AND USE OF DOCUMENTS**  
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Approved	pl	Reviewed	pl
Drawn	bc		
Project No.	1110		
Scale	1/16"=1'-0"	Issue Date	8/29/11

**PLANTING PLAN**

**L1.0**

**PLANT LIST:**

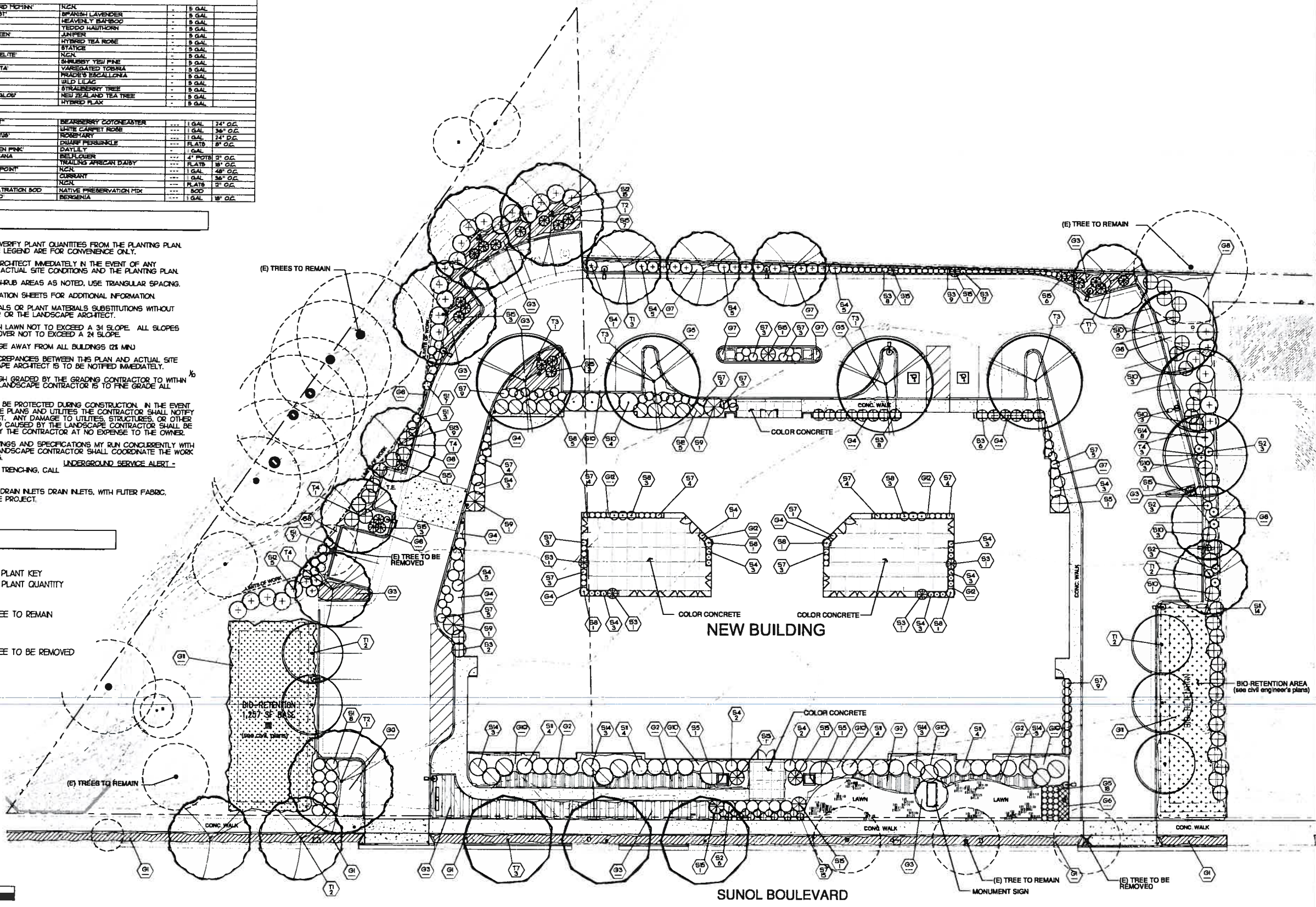
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
<b>TREES</b>					
T1	LAKENSTRICHTIA L. TUSCADERA	CRANE FRITZEE	-	18 GAL	STANDARD
T2	QUERCUS AGROGLA	COAST LIVE OAK	-	24"BOX	1 1/2" TRUNK
T3	KOELBUTERIA PANICULATA	GOLDENBURN TREE	-	24"BOX	STANDARD
T4	RAMIS LAURINA	LAUREL SUIAC	-	24"BOX	STANDARD
T5	CECROPIS F. ROBUST PANBY	EASTERN REDBUD	-	18 GAL	STANDARD
T6	ACER N. THORNTONWOOD	JAPANESE MAPLE	-	18 GAL	1 1/2" TRUNK
T7	PLATANUS A. YARWOOD	LOCOST PLANE TREE	-	18 GAL	STANDARD
<b>SHRUBS</b>					
S1	ARCTOSTAPHYLOS HOWARD MEMIN	NYCN	-	18 GAL	
S2	LAVANDULA S. OTTO GIABT	SPANISH LAVENDER	-	18 GAL	
S3	NANDINA D. COPPACTA	HEAVENLY BANBOO	-	18 GAL	
S4	RAUHOLFIA L. YINGER	YEDDO HOUTCHON	-	18 GAL	
S5	JUNIPERUS C. ROBUST GREEN	JUNIPER	-	18 GAL	
S6	ROSA HYBRID TEA	HYBRID TEA ROSE	-	18 GAL	
S7	LIPONATI PERSE	STYATICE	-	18 GAL	
S8	LOXOSTALIX C. TILM DELITE	NYCN	-	18 GAL	
S9	PODOCARPUS M. HAKI	SHRUBBY YEW PINE	-	18 GAL	
S10	PITTOCORPUS T. VARIEGATA	VARIEGATED TORONIA	-	18 GAL	
S11	ESCALLONIA WADDEAN	WADDEAN'S ESCALLONIA	-	18 GAL	
S12	GEANTHUS CONCHA	WILD LILAC	-	18 GAL	
S13	ARUNDO L. COPPACTA	STRAWBERRY TREE	-	18 GAL	
S14	LEPTOCARPUS S. RUBY GLOW	NEW ZEALAND TEA TREE	-	18 GAL	
S15	PHORSTIUM YELLOW BAYE	HYBRID FLAX	-	18 GAL	
<b>GROUND COVERS</b>					
G1	COTONEASTER D. LOUFAST	BEARBERRY COTONEASTER	---	1 GAL	24" O.C.
G2	ROSA WHITE CARPET	WHITE CARPET ROSE	---	1 GAL	36" O.C.
G3	ROSEMARINUS O. PROSTRATUS	ROSEMARY	---	1 GAL	24" O.C.
G4	VINCA MINOR	DIWANE PERIWINKLE	---	FLATS	8" O.C.
G5	HEPEROCALLIS EVERGREEN PINK	DAYLILY	---	1 GAL	
G6	CAMPANULA POLYCHROMYANA	BELL FLOWER	---	4" FLATS	3" O.C.
G7	CANTOPERLIUM F. WHITE	TRAILING AFRICAN DAIBY	---	FLATS	18" O.C.
G8	GEANTHUS G. H. YANKEE POINT	NYCN	---	1 GAL	48" O.C.
G9	HEBER Y. HYBRID LIGHT	CURRYANT	---	1 GAL	36" O.C.
G10	APTEVENA C. RED APPLE	NYCN	---	FLATS	3" O.C.
G11	DELTA BILIGRAMS BIO-FILTRATION BCD	NATIVE PRESERVATION MIX	---	1 GAL	
G12	BERGENIA C. MORNING RED	BERGENIA	---	1 GAL	18" O.C.

**PLANT NOTES:**

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (24 MIN).
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN FOOT OF FINAL GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- UNDERGROUND SERVICE ALERT - 800.227.2600
- PROTECT EXISTING STORM DRAIN INLETS, WITH FILTER FABRIC, FOR THE DURATION OF THE PROJECT.

**PLANT SYMBOLS**

- Symbol with 'X' in circle: INDICATES PLANT KEY
- Symbol with 'X' in square: INDICATES PLANT QUANTITY
- Symbol with dot in circle: EXISTING TREE TO REMAIN
- Symbol with 'X' in circle: EXISTING TREE TO BE REMOVED





**GENERAL NOTES:**

OWNER: PETRA REALTY INVESTORS, INC.  
3775 BEACON AVENUE, SUITE 200  
FREMONT, CA 94538  
(510) 474-1001

CML ENGINEER: NEKTARIOS MATHEOU, PE  
MATHEOU CIVIL ENGINEERING, INC.  
777 NORTH 1ST STREET, SUITE 615  
SAN JOSE, CA 95112  
(408) 506-8565

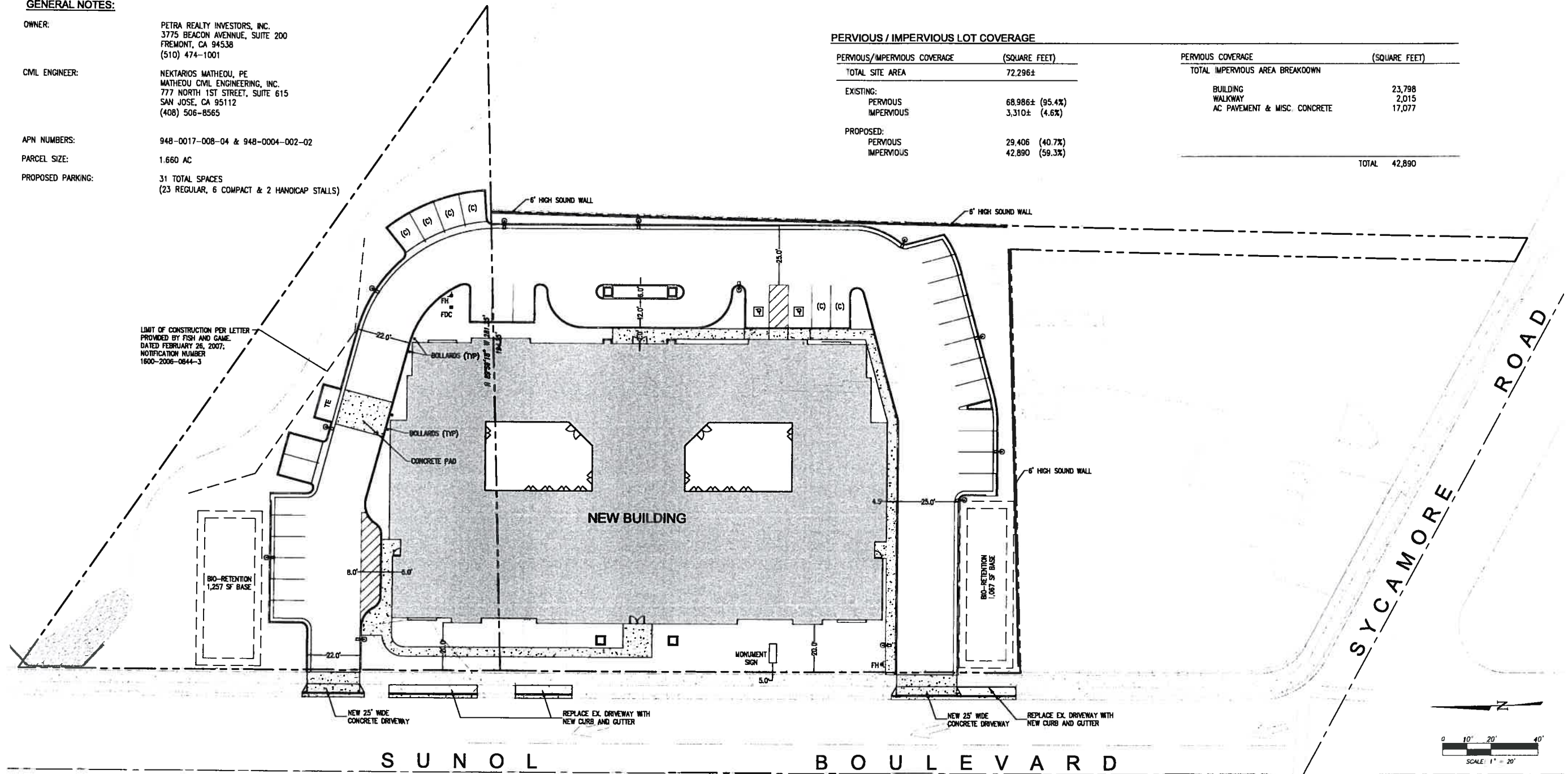
APN NUMBERS: 948-0017-008-04 & 948-0004-002-02

PARCEL SIZE: 1.660 AC

PROPOSED PARKING: 31 TOTAL SPACES  
(23 REGULAR, 6 COMPACT & 2 HANDICAP STALLS)

**PERVIOUS / IMPERVIOUS LOT COVERAGE**

PERVIOUS/IMPERVIOUS COVERAGE	(SQUARE FEET)	PERVIOUS COVERAGE	(SQUARE FEET)
TOTAL SITE AREA	72,296±	TOTAL IMPERVIOUS AREA BREAKDOWN	
EXISTING:		BUILDING	23,798
PERVIOUS	68,986± (95.4%)	WALKWAY	2,015
IMPERVIOUS	3,310± (4.6%)	AC PAVEMENT & MISC. CONCRETE	17,077
PROPOSED:			
PERVIOUS	29,406 (40.7%)		
IMPERVIOUS	42,890 (59.3%)		
		TOTAL	42,890



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**SITE PLAN**

August 28, 2011

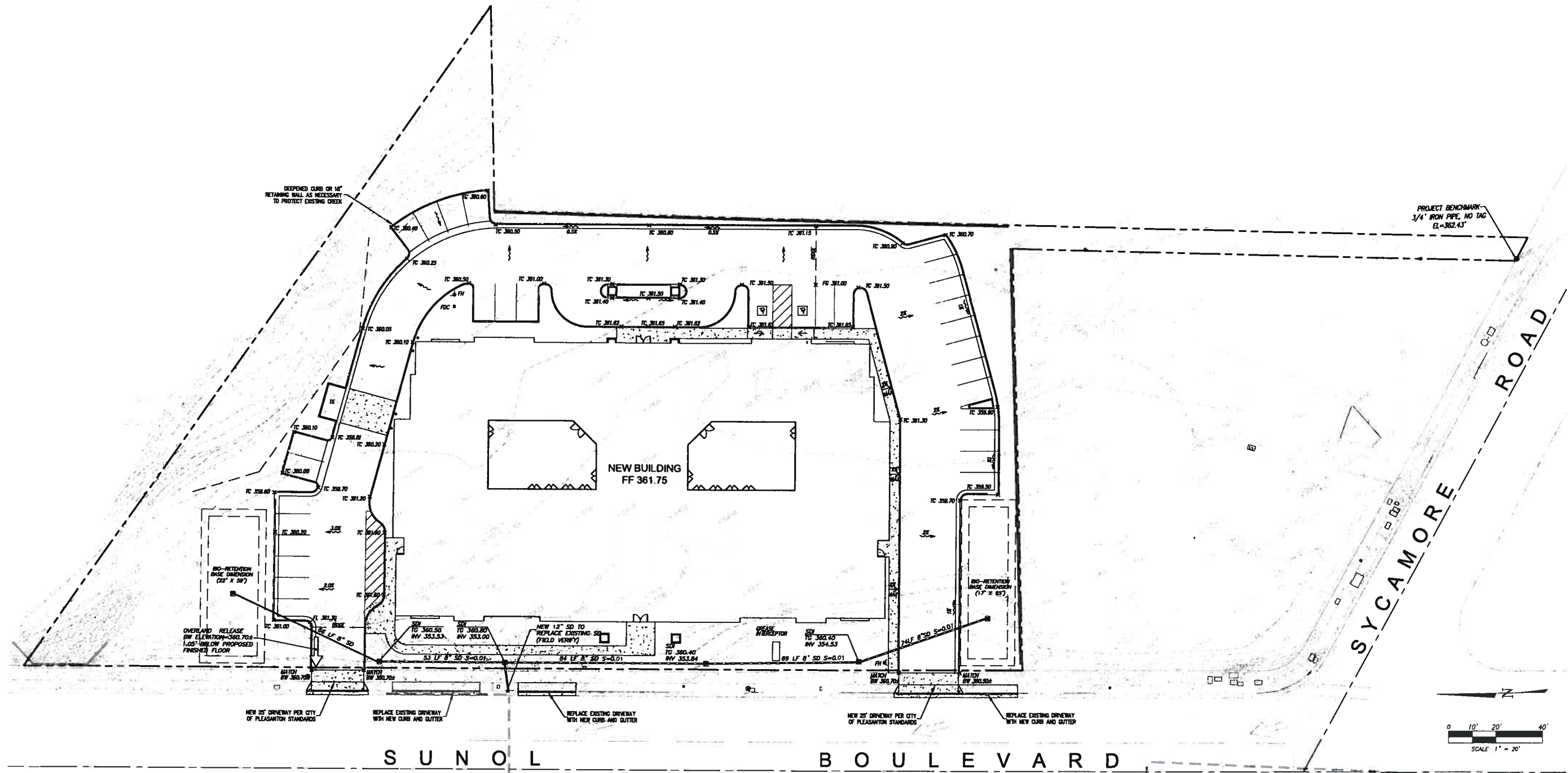
MCE #1526



**Westmont of Pleasanton**  
Pleasanton, California  
Petra Realty Investors

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CIVIL ENGINEERING, INC.  
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(408)-506-8565

**C-1**



**UNDERGROUND ALERT:**

1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
2. CONTRACTOR SHALL POthOLE AND VERIFY PRIOR TO CONSTRUCTION
3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION  
PHONE: 800-227-2600

**GRADING AND DRAINAGE PLAN**

**Westmont of Pleasanton**  
 Pleasanton, California  
 Petra Realty Investors

**MATHEOU**  
 CIVIL ENGINEERING, INC.  
 777 NORTH 1ST STREET  
 SUITE 615  
 SAN JOSE, CA 95112  
 (408)-506-8565

**C-2**



August 28, 2011  
 MCE #1526

DWG. NAME: P:\Mathieu\CE\Draw\08051-036 - Sunlit Blvd\PLANS\1526 C-2 GRADING AND DRAINAGE PLAN.dwg. LAST EDITED: Tue, Aug 30, 2011 9:53am  
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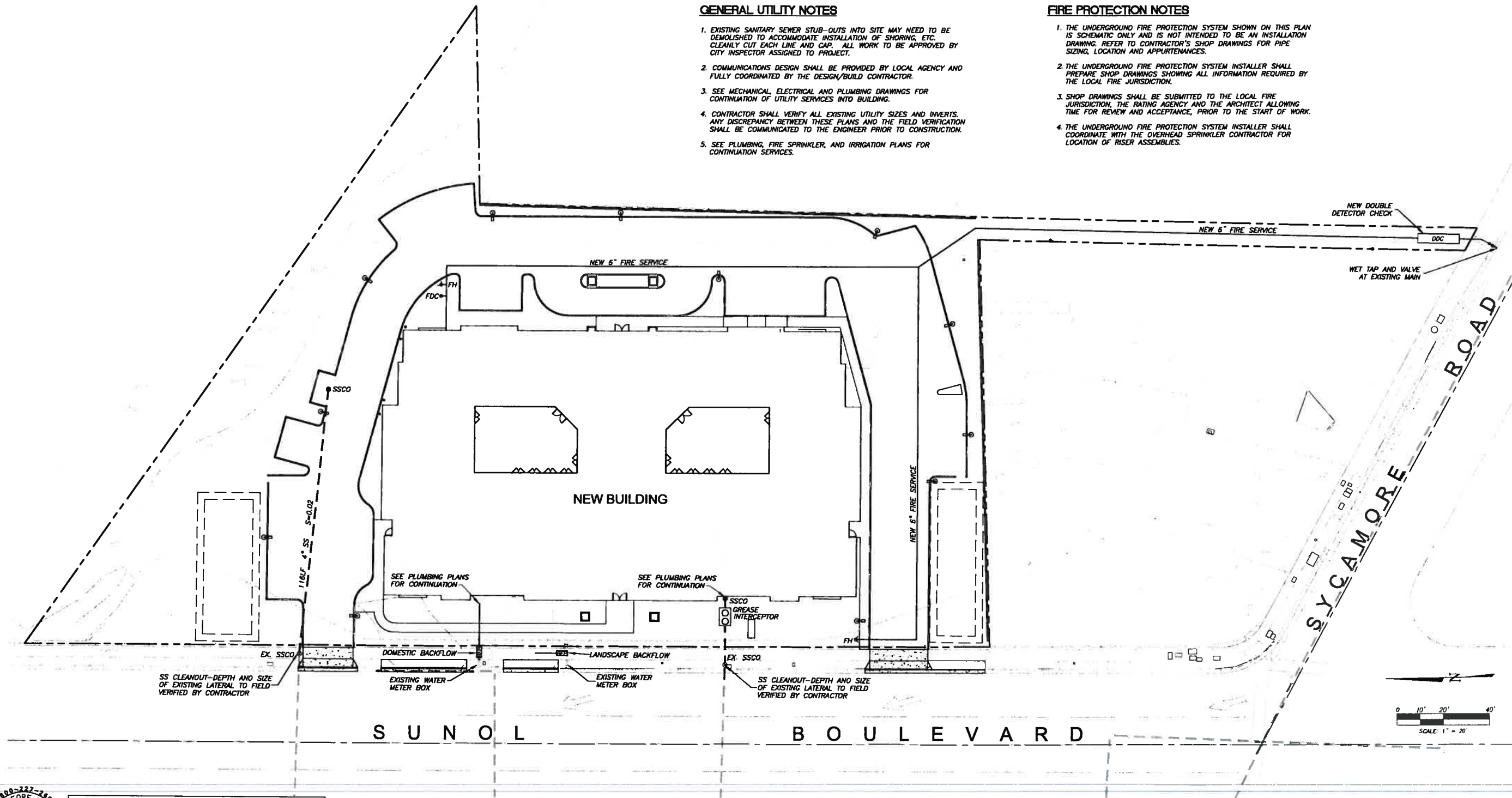


**GENERAL UTILITY NOTES**

1. EXISTING SANITARY SEWER STUB-OUTS INTO SITE MAY NEED TO BE DEMOLISHED TO ACCOMMODATE INSTALLATION OF SHORING, ETC. CLEANLY CUT EACH LINE AND CAP. ALL WORK TO BE APPROVED BY CITY INSPECTOR ASSIGNED TO PROJECT.
2. COMMUNICATIONS DESIGN SHALL BE PROVIDED BY LOCAL AGENCY AND FULLY COORDINATED BY THE DESIGN/BUILD CONTRACTOR.
3. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR CONTINUATION OF UTILITY SERVICES INTO BUILDING.
4. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY SIZES AND INVERTS. ANY DISCREPANCY BETWEEN THESE PLANS AND THE FIELD VERIFICATION SHALL BE COMMUNICATED TO THE ENGINEER PRIOR TO CONSTRUCTION.
5. SEE PLUMBING, FIRE SPRINKLER, AND IRRIGATION PLANS FOR CONTINUATION SERVICES.

**FIRE PROTECTION NOTES**

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS PLAN IS SCHEMATIC ONLY AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. REFER TO CONTRACTOR'S SHOP DRAWINGS FOR PIPE SIZING, LOCATION AND APPURTENANCES.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE JURISDICTION.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE JURISDICTION, THE RATING AGENCY AND THE ARCHITECT ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO THE START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL COORDINATE WITH THE OVERHEAD SPRINKLER CONTRACTOR FOR LOCATION OF RISER ASSEMBLIES.



**UNDERGROUND ALERT:**

1. ALL EXISTING UTILITY LOCATIONS AND DEPTHS ARE APPROXIMATE ONLY.
2. CONTRACTOR SHALL POT-HOLE AND VERIFY PRIOR TO CONSTRUCTION
3. CONTRACTOR TO CONTACT USA FOR UTILITY MARKINGS PRIOR TO CONSTRUCTION  
PHONE: 800-227-2600

UTILITY PLAN



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C-3

**STORMWATER TREATMENT MEASURE  
OPERATION AND MAINTENANCE STATEMENT**

THE SITE MANAGER IS TO KEEP TRACK OF A MAINTENANCE AND INSPECTION SCHEDULE FOR BIO-RETENTION/TREATMENT FEATURES ON THE SITE. A MONTHLY VISUAL INSPECTION IS RECOMMENDED TO ENSURE NORMAL FUNCTIONING OF THIS BIO-RETENTION POND. DETAILED INSPECTIONS SHALL BE CONDUCTED AT LEAST TWICE ANNUALLY WITH INSPECTIONS OCCURRING (1) AT THE END OF THE WET SEASON TO SCHEDULE SUMMER MAINTENANCE, (2) BEFORE MAJOR FALL RUNOFF IN PREPARATION FOR WINTER, AND (3) AFTER PERIODS OF HEAVY RUNOFF. MAINTENANCE ACTIVITIES TO INCLUDE ENSURING THE BIO-RETENTION FACILITY IS IN PROPER WORKING ORDER. DEAD TURF OR OTHER UNHEALTHY VEGETATIVE AREAS WILL NEED TO BE REPLACED AFTER BEING DISCOVERED. A THOROUGH STORMWATER MAINTENANCE PLAN WILL BE DEVELOPED PRIOR TO SITE COMPLETION AND WILL BE MADE AVAILABLE TO CITY INSPECTORS UPON REQUEST.

**PERVIOUS/IMPERVIOUS PAVING**

PERVIOUS/IMPERVIOUS COVERAGE	(SQUARE FEET)
TOTAL SITE AREA	72,296±
EXISTING:	
PERVIOUS	68,986± (95.4%)
IMPERVIOUS	3,310± (4.6%)
PROPOSED:	
PERVIOUS	29,406 (40.7%)
IMPERVIOUS	42,890 (59.3%)

AVERAGE RUNOFF COEFFICIENT  
 $C = 0.2 (0.40) + 0.9 (0.60) = 0.62$   
PERVIOUS IMPERVIOUS

**BEST MANAGEMENT PRACTICES (BMP'S)**

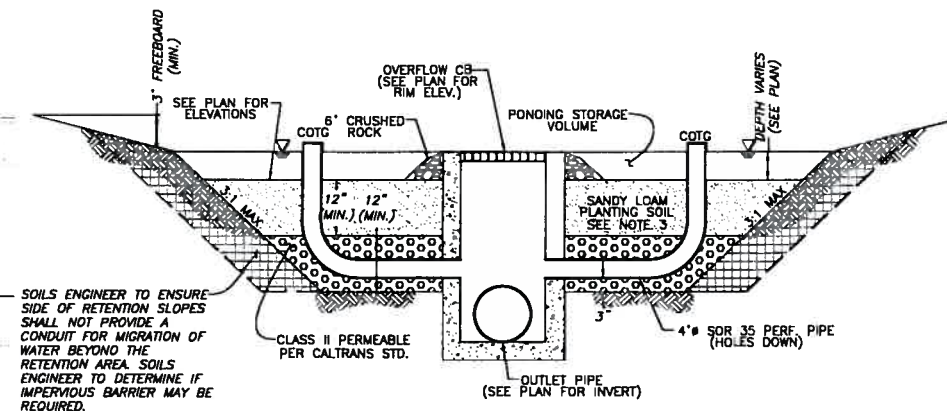
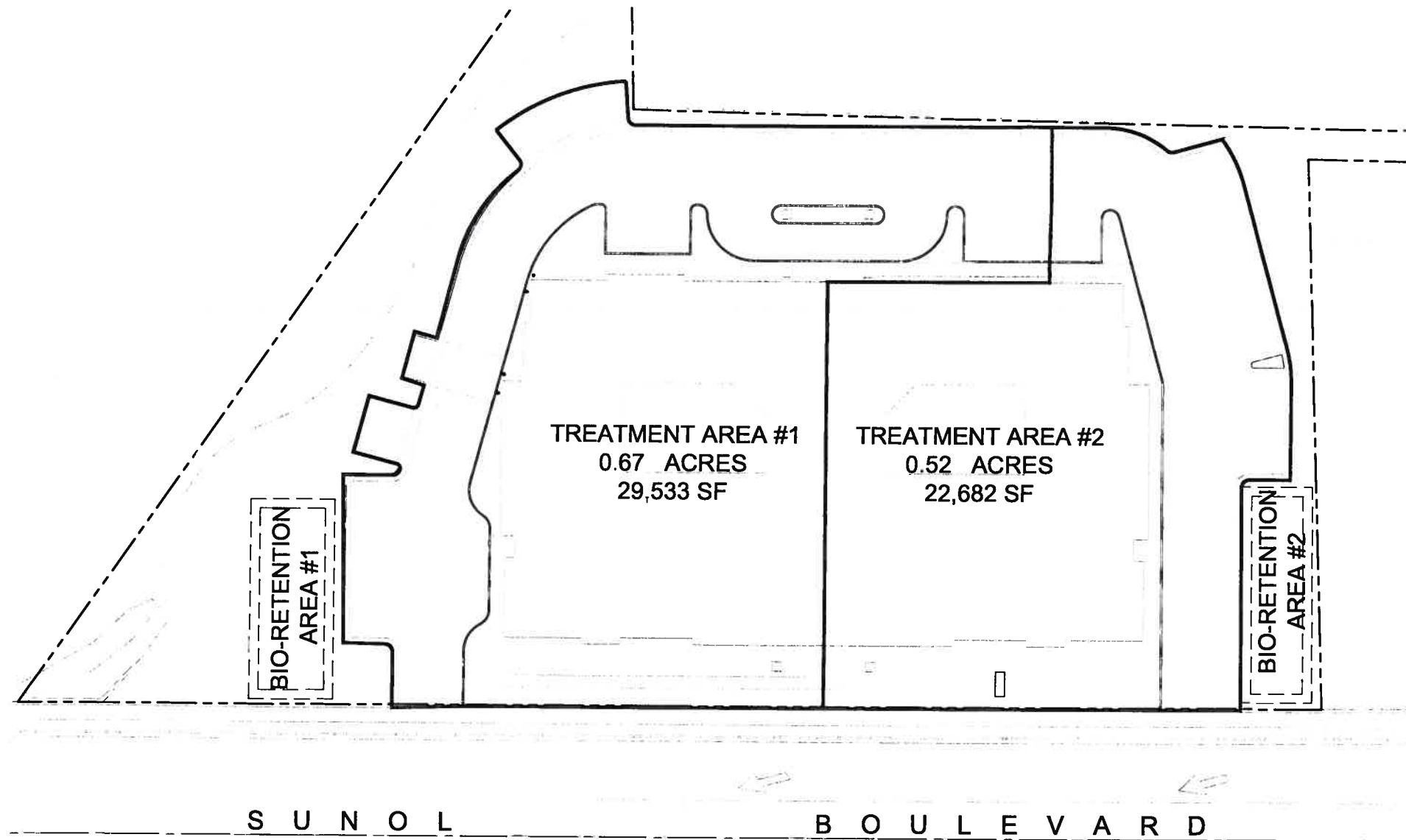
CONSTRUCTION BMP'S MAY INCLUDE, BUT ARE NOT LIMITED TO, SILT FENCE/STRAW WADDLES AROUND PERIMETER OF SITE FOR SEDIMENT CONTROL, REGULAR STREET CLEANING, AND INLET PROTECTION DURING CONSTRUCTION.

**BIO-RETENTION CALCULATIONS**

TREATMENT AREA	BASE AREA REQ'D (SF)	BASE AREA PROVIDED (SF)
#1	1,218	1,257
#2	909	1,067

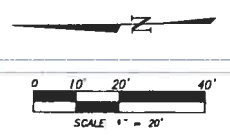
BIO-RETENTION POND REQUIRED BASE AREA CALCULATED BY TREATED IMPERVIOUS DRAINAGE AREA BY A MULTIPLE OF 4%.

\*\* (IMPERVIOUS AREA) X (0.04) = BIO-RETENTION BASE AREA



SOILS ENGINEER TO ENSURE SIDE OF RETENTION SLOPES SHALL NOT PROVIDE A CONDUIT FOR MIGRATION OF WATER BEYOND THE RETENTION AREA. SOILS ENGINEER TO DETERMINE IF IMPERVIOUS BARRIER MAY BE REQUIRED.

1. BIORETENTION AREAS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
2. SOIL AT BOTTOM OF RETENTION AREA SHALL HAVE A MINIMUM PERCOLATION RATE OF 5 INCHES/HOUR AND A MAXIMUM PERCOLATION RATE OF 10 INCHES/HOUR. IN-SITU TESTING SHALL BE CONDUCTED TO VERIFY THAT THE MATERIAL MEETS THE PERCOLATION REQUIREMENTS.
3. SINCE THE NATIVE SOILS DO NOT SUPPORT THE ABOVE MENTIONED PERCOLATION RATES, ENGINEERED SOIL SHALL BE INSTALLED, IT SHALL BE COMPOSED OF THE FOLLOWING: 50% CONSTRUCTION SAND, 20-30% TOPSOIL WITH LESS THAN 5% MAXIMUM CLAY CONTENT AND 20-30% LEAF COMPOST. ENGINEERED SOIL SHALL BE IMPORTED AND SUBJECT TO OBSERVATION AND TESTING BY THE SOILS ENGINEER.
4. NO BARK MULCH SHALL BE PLACED IN THE BIORETENTION AREA.
5. PERK RATE SHALL BE VERIFIED BY SOILS ENGINEER.
6. SIOL MIX SHALL CONSIST OF 50% CONSTRUCTION SAND, 20-30% TOPSOIL WITH LESS THAN 5% MAXIMUM CLAY CONTENT, AND 20-30% ORGANIC LEAF COMPOST WITH AN INFILTRATION RATE OF 5-10 INCHES/HOUR.



**STORMWATER MANAGEMENT PLAN**

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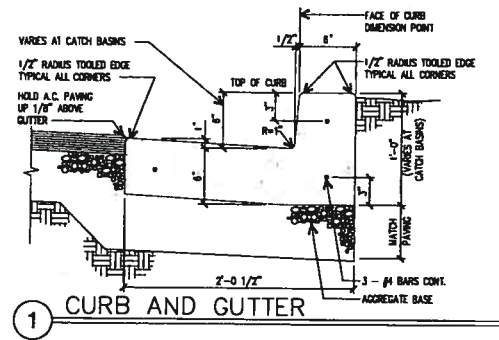
August 28, 2011
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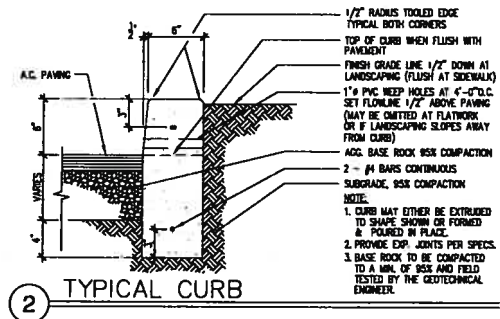
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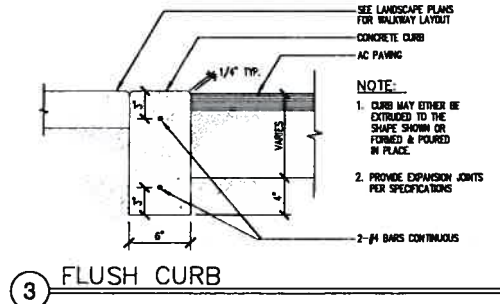
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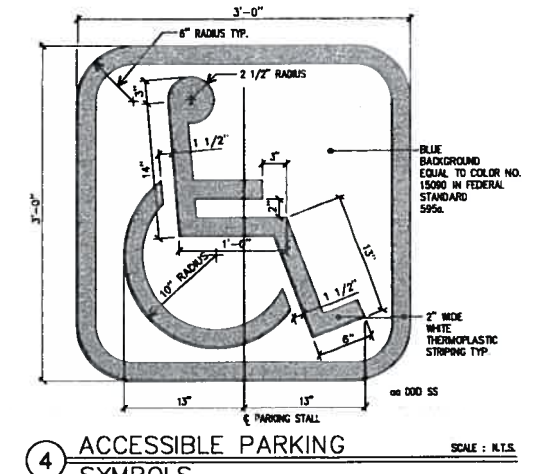
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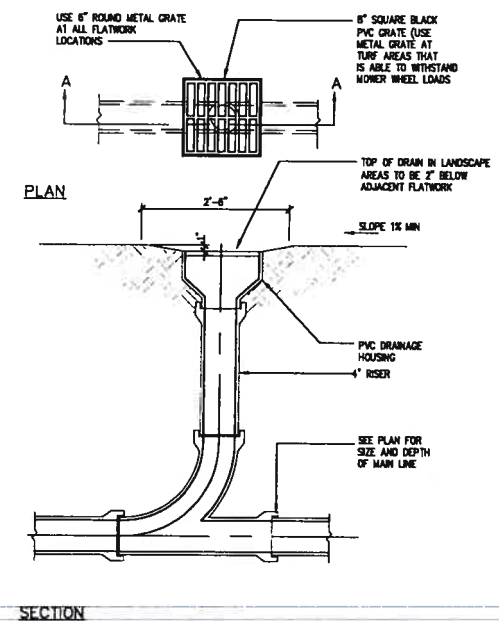
2 TYPICAL CURB



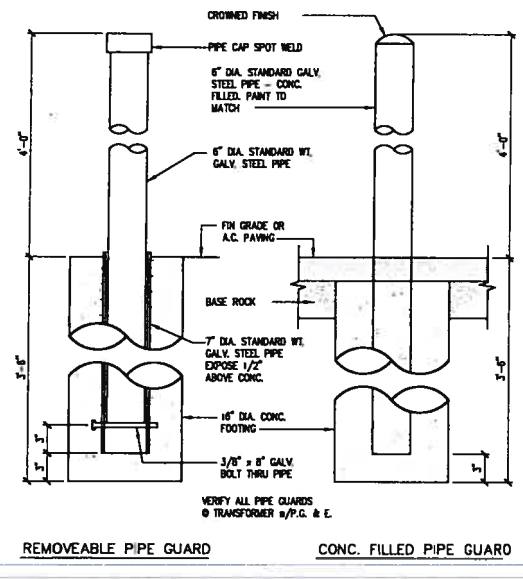
3 FLUSH CURB



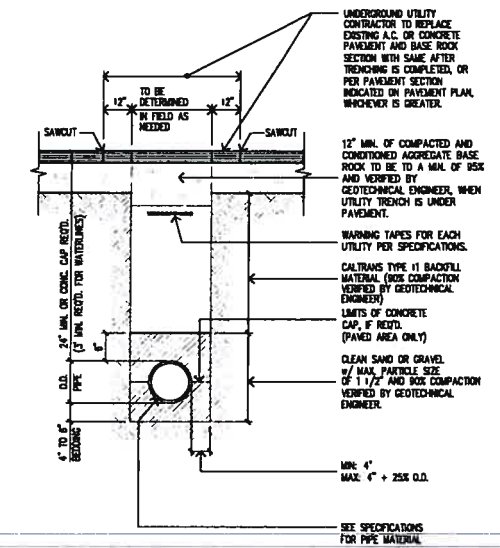
4 ACCESSIBLE PARKING SYMBOLS



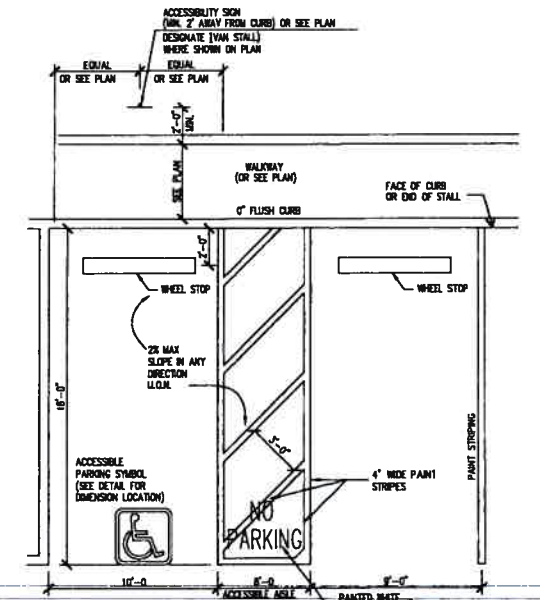
5 AREA DRAIN



6 BOLLARD



7 TYPICAL PIPELINE BACKFILL



8 ACCESSIBLE PARKING STALL

DETAILS

August 26, 2011  
MCE #1526



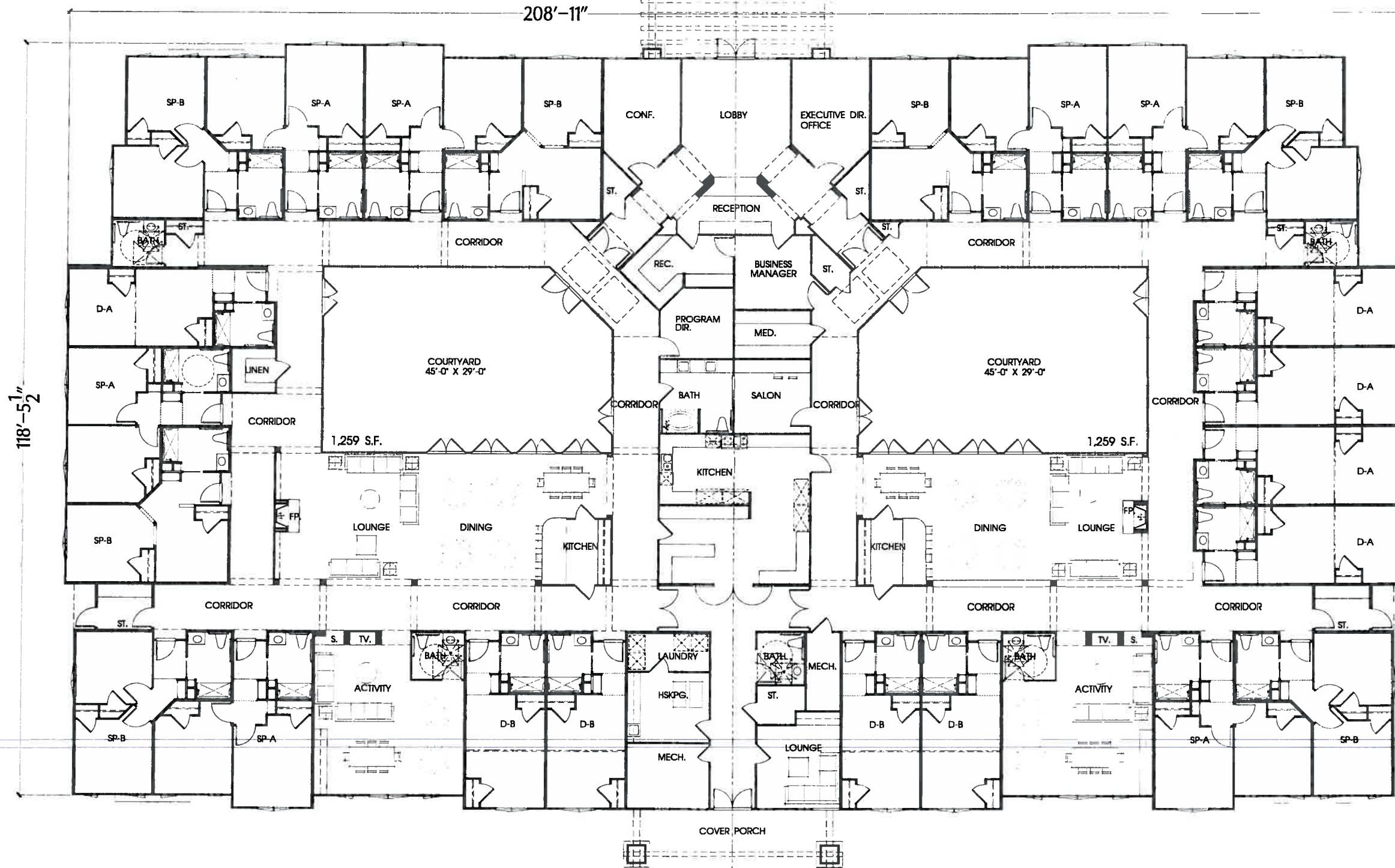
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C-5



DOUBLE ROOM - A:	5 UNITS	403 SF	10 BDS
DOUBLE ROOM - B:	4 UNITS	342 SF	8 BDS
SEMI PRIVITE - A:	7 UNITS	519 SF	14 BDS
SEMI PRIVITE - B:	5 UNITS	458 SF	10 BDS
SEMI PRIVITE - B @ INTERIOR CORNER:	2 UNITS	458 SF	4 BDS
TOTAL UNITS:	23 UNITS		
TOTAL BEDS:			46 BDS
TOTAL BUILDING SF:		21,481 SF	



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April 1, 2011

2010205

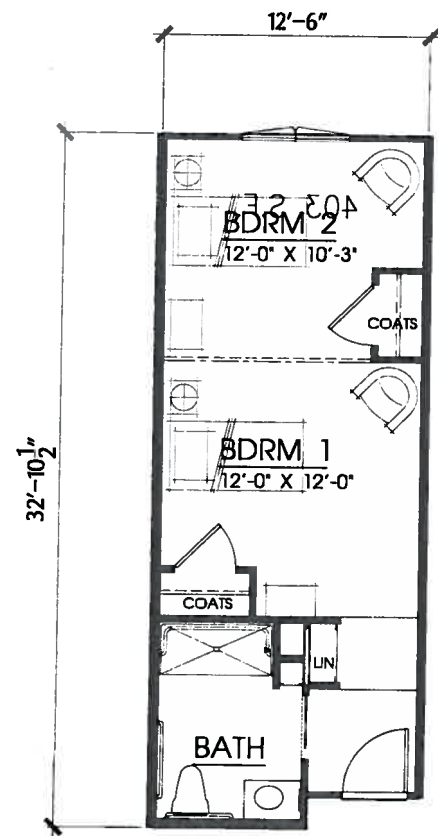


BUILDING PLAN  
**PLEASANTON MEMORY CARE FACILITY**  
 Pleasanton, California  
 Petra Realty Investors

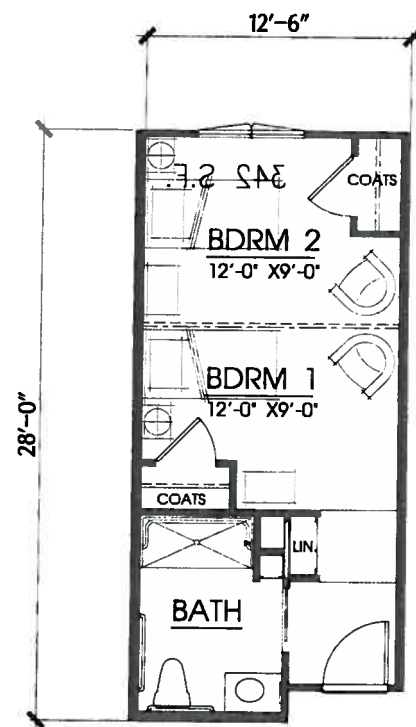
**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-6543  
 949 250 0607 www.wharchitects.com fax 949 250 1529

**A-1**

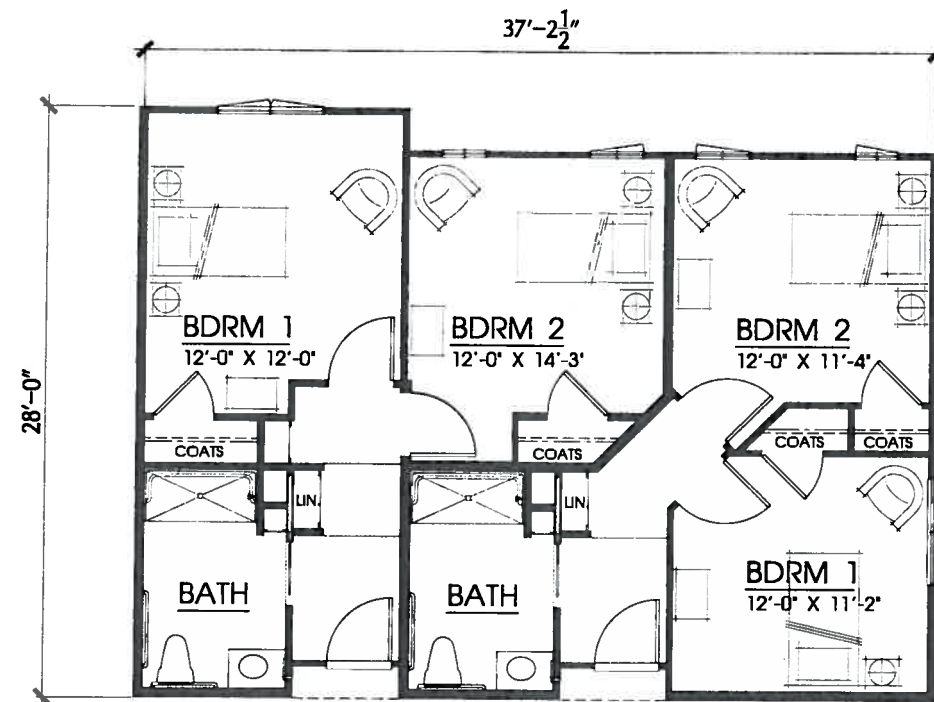




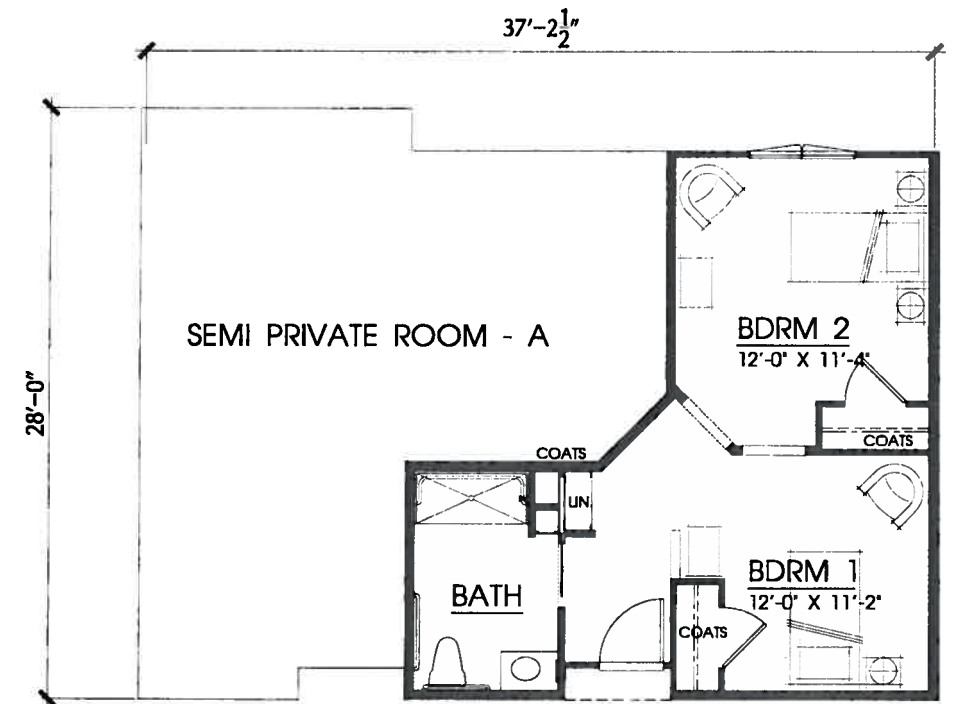
DOUBLE ROOM - A  
403 SQ. FT.



DOUBLE ROOM - B  
342 SQ. FT.



SEMI PRIVATE ROOM - A  
519 SQ. FT.



SEMI PRIVATE ROOM - B  
458 SQ. FT.

SEMI PRIVATE ROOM - B  
@ INTERIOR CORNER COND.  
458 SQ. FT.

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April 1, 2011
2010205



UNIT PLANS  
**PLEASANTON MEMORY CARE FACILITY**  
 Pleasanton, California  
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**W**  
 WILLIAM HEZMALHALCH  
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 949 250 0607 www.wharchitects.com fax 949 250 1529

A-2



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



SUNOL BLVD ELEVATION

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ELEVATIONS  
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Apr 1, 2011
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**W**  
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 949 250 0607 www.whearchitects.com fax 949 250 1529

A-3





March 30, 2011

PETRA REALTY INVESTORS  
**PLEASANTON MEMORY CARE FACILITY**  
 Pleasanton, California

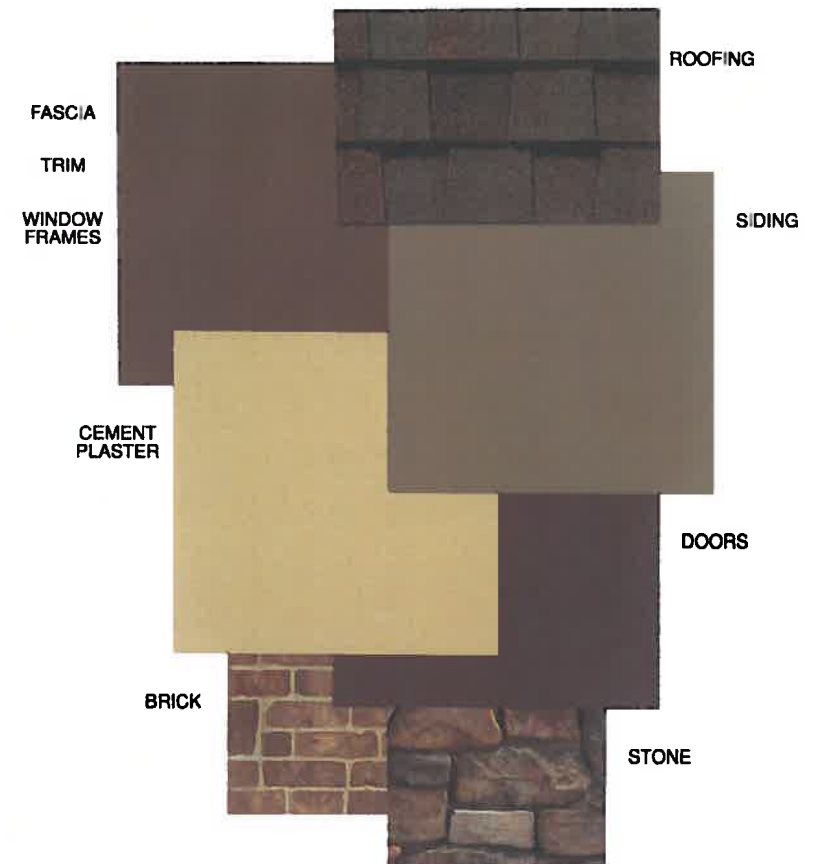
Project #2010205

**EXTERIOR PALETTE**

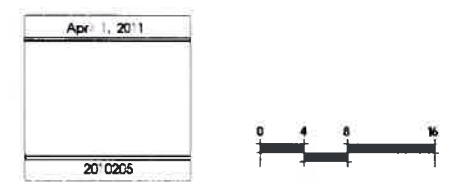
MATERIAL	COLOR	MANUFACTURER
<b>ROOFING:</b> Prestique High Definition Asphalt Shingles	BARKWOOD	GAF / ELK
<b>ALTERNATE ROOFING:</b> Concrete Shake Roof Tile	5502 ARCADIA	EAGLE
<b>METAL CLAD WINDOWS (Factory Finish)</b>	077 DEEP TAUPE	SIERRA PACIFIC WINDOWS
<b>MANUFACTURED STONE (Standard Raked Joints)</b>	VERONA HILLSTONE	ELDORADO
<b>BRICK CAP (Standard Raked Joints)</b>	MONTE CRISTO Chateau Collection	INTERSTATE
<b>MORTAR @ STONE &amp; BRICK</b>	KHAKI	ORCO
<b>CEMENT PLASTER (20/30 Finish)</b>	Match Dunn Edwards DE 6179 OAK HARBOR	TBD
<b>SIDING COLOR (applied to) Shingle Siding</b>	DE 6223 MISSION TRAIL	DUNN EDWARDS
<b>ALTERNATE SIDING COLOR (Factory Finish)</b>	JH90-30 WOODSTOCK BROWN	JAMES HAROIE
<b>TRIM COLOR (applied to):</b> Eaves Fascia Rafter Tails Trim	DE 6077 DEEP BROWN	DUNN EDWARDS
<b>ACCENT COLOR (applied to):</b> Doors	DE 6014 DARK CHOCOLATE	DUNN EDWARDS

Color Designer: Donna Aldrich

© 2011 William Hezmalhalch Architects, Inc.



**PLEASANTON MEMORY CARE FACILITY**  
 PLEASANTON, CALIFORNIA  
 3/30/11 **EXTERIOR PALETTE** 2010205  
 PETRA REALTY INVESTORS  
 WILLIAM HEZMALHALCH ARCHITECTS INC. © 2011  
 For exact color refer to manufacturers' actual samples

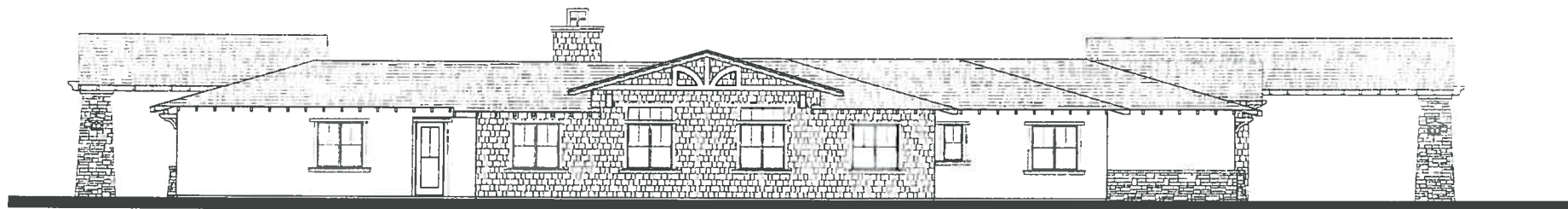




NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SUNOL BLVD ELEVATION

WILLIAM HEZMALHALCH ARCHITECTS, INC. © 2011

April 1, 2011  
20110205



ELEVATIONS  
**PLEASANTON MEMORY CARE FACILITY**  
 Pleasanton, California  
 Petra Realty Investors

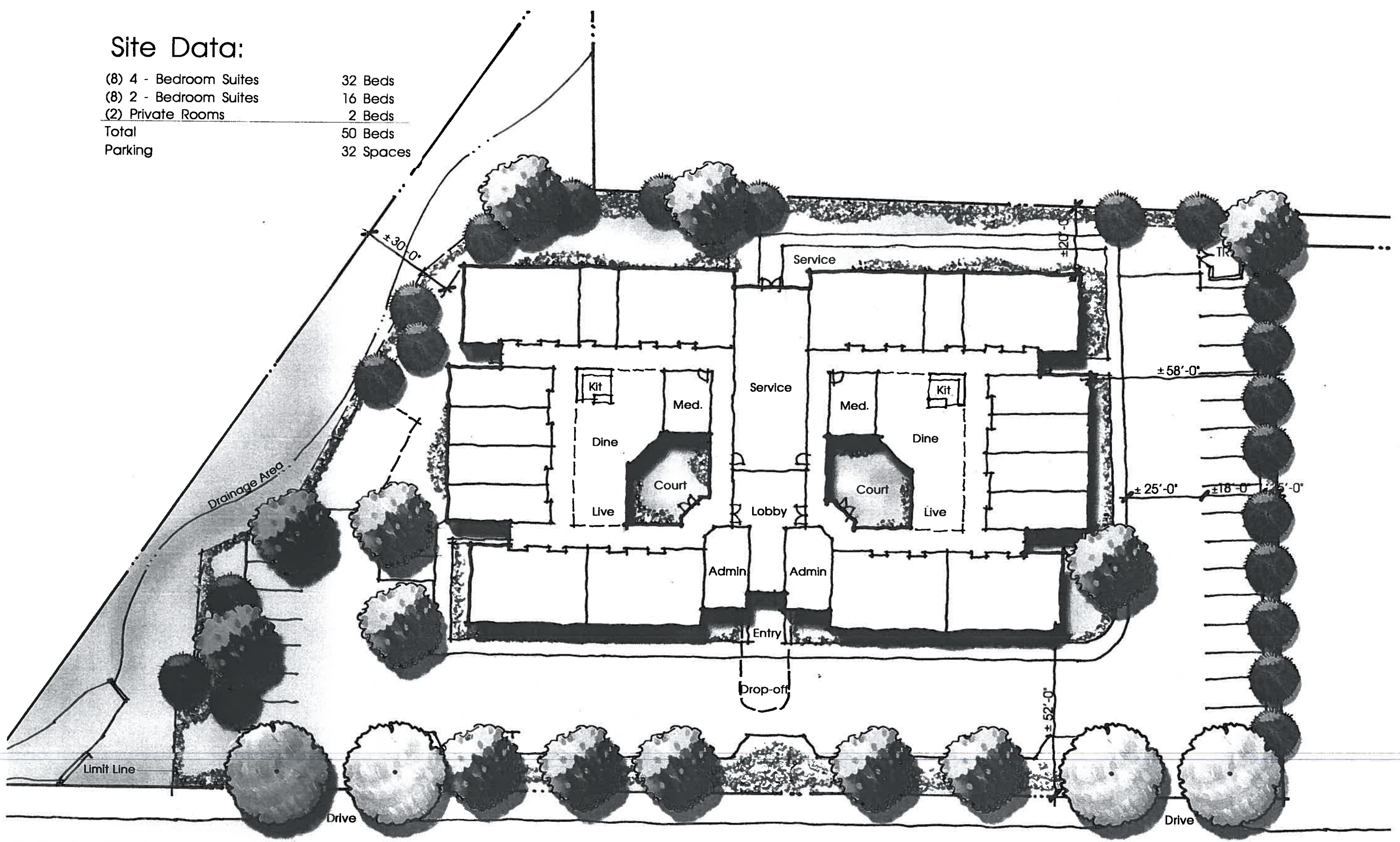
**W**  
 WILLIAM HEZMALHALCH  
 ARCHITECTS INC.  
 2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-6543  
 949 250 0607 www.wharchitects.com fax 949 250 1529

A-3



# Site Data:

(8) 4 - Bedroom Suites	32 Beds
(8) 2 - Bedroom Suites	16 Beds
(2) Private Rooms	2 Beds
<b>Total</b>	<b>50 Beds</b>
<b>Parking</b>	<b>32 Spaces</b>



Preliminary Site Plan: Alternative 2  
**PLEASANTON MEMORY CARE**  
 5980 and 5998 Sunol Boulevard  
 Pleasanton, California

November 23, 2010



20/0205



**WILLIAM HEZMALHALCH  
 ARCHITECTS INC.**  
 2350 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543  
 949 250 0637 www.whearchitects.com fax 949 250 1529



# LEED 2009 for Healthcare: New Construction and Major Renovations

Project Name

## Project Checklist

Date

### 10 2 6 Sustainable Sites Possible Points: 18

Y	?	N			
Y			Prereq 1	Construction Activity Pollution Prevention	
Y			Prereq 2	Environmental Site Assessment	
			Credit 1	Site Selection	1
			Credit 2	Development Density and Community Connectivity	1
			Credit 3	Brownfield Redevelopment	1
			Credit 4.1	Alternative Transportation—Public Transportation Access	3
			Credit 4.2	Alternative Transportation—Bicycle Storage and Changing Rooms	1
			Credit 4.3	Alternative Transportation—Low-Emitting and Fuel-Efficient Vehicles	1
			Credit 4.4	Alternative Transportation—Parking Capacity	1
			Credit 5.1	Site Development—Protect or Restore Habitat	1
			Credit 5.2	Site Development—Maximize Open Space	1
			Credit 6.1	Stormwater Design—Quantity Control	1
			Credit 6.2	Stormwater Design—Quality Control	1
			Credit 7.1	Heat Island Effect—Non-roof	1
			Credit 7.2	Heat Island Effect—Roof	1
			Credit 8	Light Pollution Reduction	1
			Credit 9.1	Connection to the Natural World—Places of Respite	1
			Credit 9.2	Connection to the Natural World—Direct Exterior Access for Patients	1

### 3 2 4 Water Efficiency Possible Points: 9

Y	?	N			
Y			Prereq 1	Water Use Reduction—20% Reduction	
Y			Prereq 2	Minimize Potable Water Use for Medical Equipment Cooling	
			Credit 1	Water Efficient Landscaping—No Potable Water Use or No Irrigation	1
			Credit 2	Water Use Reduction: Measurement & Verification	1 to 2
			Credit 3	Water Use Reduction	1 to 3
			Credit 4.1	Water Use Reduction—Building Equipment	1
			Credit 4.2	Water Use Reduction—Cooling Towers	1
			Credit 4.3	Water Use Reduction—Food Waste Systems	1

### 14 3 20 Energy and Atmosphere Possible Points: 39

Y	?	N			
Y			Prereq 1	Fundamental Commissioning of Building Energy Systems	
Y			Prereq 2	Minimum Energy Performance	
Y			Prereq 3	Fundamental Refrigerant Management	
			Credit 1	Optimize Energy Performance	1 to 24
			Credit 2	On-Site Renewable Energy	1 to 8
			Credit 3	Enhanced Commissioning	1 to 2
			Credit 4	Enhanced Refrigerant Management	1
			Credit 5	Measurement and Verification	2
			Credit 6	Green Power	1
			Credit 7	Community Contaminant Prevention—Airborne Releases	1

### 3 8 5 Materials and Resources Possible Points: 16

Y	?	N			
Y			Prereq 1	Storage and Collection of Recyclables	
Y			Prereq 2	PBT Source Reduction—Mercury	
			Credit 1.1	Building Reuse—Maintain Existing Walls, Floors, and Roof	1 to 3
			Credit 1.2	Building Reuse—Maintain Interior Non-Structural Elements	1
			Credit 2	Construction Waste Management	1 to 2
			Credit 3	Sustainably Sourced Materials and Products	1 to 4
			Credit 4.1	PBT Source Reduction—Mercury in Lamps	1
			Credit 4.2	PBT Source Reduction—Lead, Cadmium, and Copper	2
			Credit 5	Furniture and Medical Furnishings	1 to 2
			Credit 6	Resource Use—Design for Flexibility	1

### 9 6 3 Indoor Environmental Quality Possible Points: 18

Y	?	N			
Y			Prereq 1	Minimum Indoor Air Quality Performance	
Y			Prereq 2	Environmental Tobacco Smoke (ETS) Control	
Y			Prereq 3	Hazardous Material Removal or Encapsulation	
			Credit 1	Outdoor Air Delivery Monitoring	1
			Credit 2	Acoustic Environment	1 to 2
			Credit 3.1	Construction IAQ Management Plan—During Construction	1
			Credit 3.2	Construction IAQ Management Plan—Before Occupancy	1
			Credit 4	Low-Emitting Materials	1 to 4
			Credit 5	Indoor Chemical and Pollutant Source Control	1
			Credit 6.1	Controllability of Systems—Lighting	1
			Credit 6.2	Controllability of Systems—Thermal Comfort	1
			Credit 7	Thermal Comfort—Design and Verification	1
			Credit 8.1	Daylight and Views—Daylight	2
			Credit 8.2	Daylight and Views—Views	1 to 3

### 1 1 4 Innovation in Design Possible Points: 6

Y	?	N			
Y			Prereq 1	Integrated Project Planning and Design	
			Credit 1.1	Innovation in Design: Specific Title	1
			Credit 1.2	Innovation in Design: Specific Title	1
			Credit 1.3	Innovation in Design: Specific Title	1
			Credit 1.4	Innovation in Design: Specific Title	1
			Credit 2	LEED Accredited Professional	1
			Credit 3	Integrated Project Planning and Design	1

### 0 1 3 Regional Priority Credits Possible Points: 4

Y	?	N			
			Credit 1.1	Regional Priority: Specific Credit	1
			Credit 1.2	Regional Priority: Specific Credit	1
			Credit 1.3	Regional Priority: Specific Credit	1
			Credit 1.4	Regional Priority: Specific Credit	1

### 40 23 45 Total Possible Points: 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 to 110

Note: Not all of the above points are guaranteed to be achieved; however, these points represent a reference point for further design and investigation.







DATE OF SURVEY:  
MAY 13, 2008 & OCTOBER 2006

TREE NOTE:  
STAGHS POSKELD ARE NOT INDICATIVE OF SIZE. TREE DIAMETER GIVEN IN INCHES

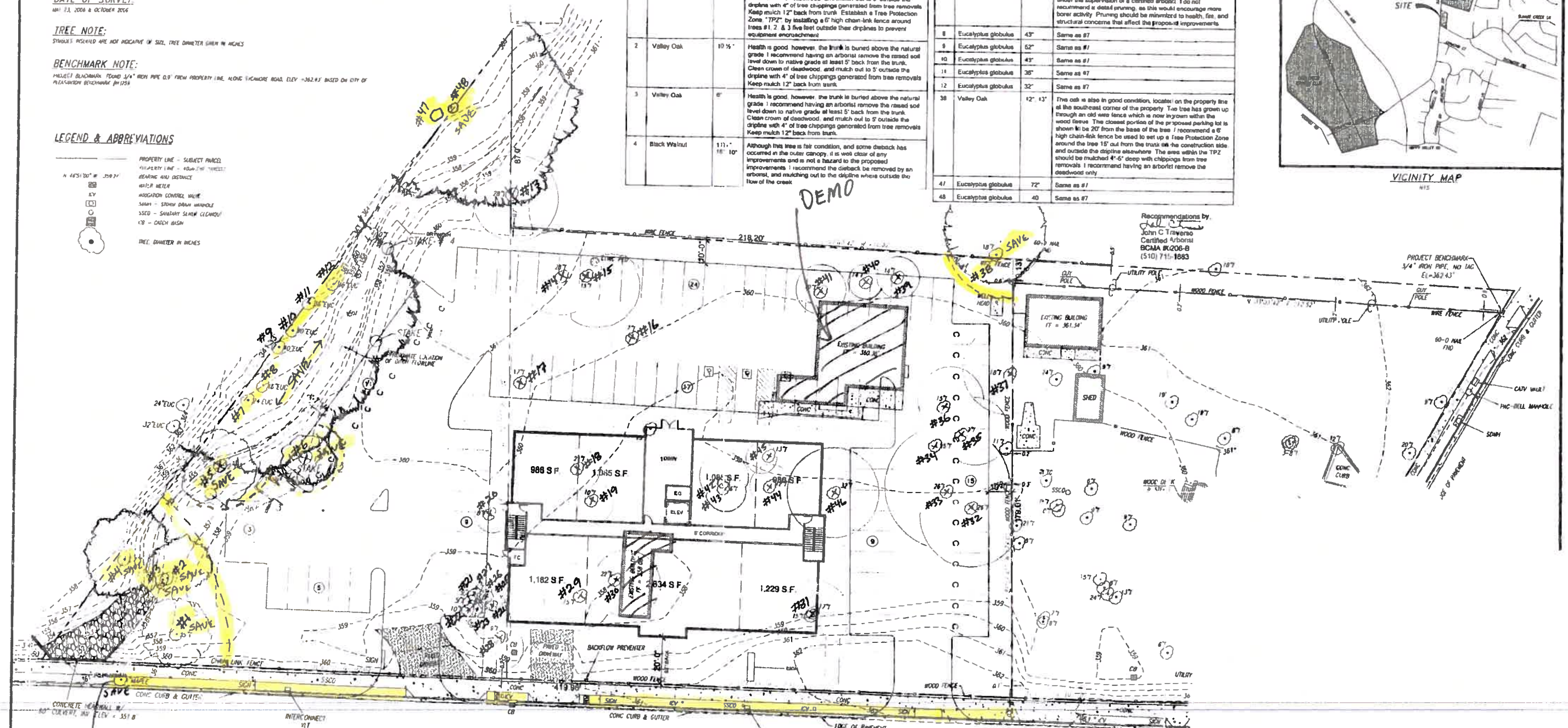
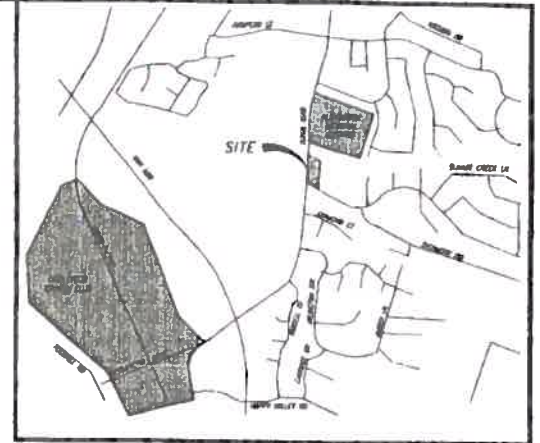
BENCHMARK NOTE:  
PROJECT BENCHMARK FOUND 3/4" IRON PIPE 0.5' FROM PROPERTY LINE, ALONG SLYMORE ROAD, ELEV = 362.85' BASED ON CITY OF PLEASANTON BENCHMARK IN 1258

LEGEND & ABBREVIATIONS

- PROPERTY LINE - SUBJECT PARCEL
- UTILITY LINE - 48" DIA. "TRENCH"
- BEARING AND DISTANCE
- WATER METER
- HOODFAN CONTROL VALVE
- SEAM - STEEL DRAIN MANHOLE
- SSCO - SANITARY SEWER CLEANOUT
- CB - CATCH BASIN
- TREE, DIAMETER IN INCHES

#	Species	DBH	Comments and Recommendations for Tree Protection
1	Valley Oak	13"	Health is good, however, the trunk is buried above the natural grade. I recommend having an arborist remove the raised soil level down to native grade at least 5' back from the trunk. Clean crown of deadwood, and mulch out to 5' outside the drip line with 4" of tree chippings generated from tree removals. Keep mulch 12" back from trunk. Establish a Tree Protection Zone "TPZ" by installing a 6' high chain-link fence around trees #1, 2, & 3 five feet outside their drip lines to prevent equipment encroachment.
2	Valley Oak	10 1/2"	Health is good, however, the trunk is buried above the natural grade. I recommend having an arborist remove the raised soil level down to native grade at least 5' back from the trunk. Clean crown of deadwood, and mulch out to 5' outside the drip line with 4" of tree chippings generated from tree removals. Keep mulch 12" back from trunk.
3	Valley Oak	6"	Health is good, however, the trunk is buried above the natural grade. I recommend having an arborist remove the raised soil level down to native grade at least 5' back from the trunk. Clean crown of deadwood, and mulch out to 5' outside the drip line with 4" of tree chippings generated from tree removals. Keep mulch 12" back from trunk.
4	Black Walnut	11 1/2" / 18" / 10"	Although this tree is in fair condition, and some dieback has occurred in the outer canopy, it is well clear of any improvements and is not a hazard to the proposed improvements. I recommend the dieback be removed by an arborist, and mulching out to the drip line where outside the flow of the creek.

#	Species	DBH	Comments and Recommendations for Tree Protection
7	Eucalyptus globulus	24"	Trees # 7, 12 are separated by a creek that is to be maintained as its natural state. Construction impacts will be on the opposite side of the creek, and should not affect tree health. These trees have a significant amount of fallen branch debris under them, and in their lower crotches. Many of the dead and fallen branches have evidence of Eucalyptus Long Horn Borer, an engraver beetle that can be very destructive. I recommend cleaning the crowns of broken branches and large deadwood (over 3" in diameter) and fallen debris under trees to lessen borer activity and potential fire hazard. A few of the trees have canopies extending over the proposed parking lot. I recommend crown reduction of elongated branches over P/T, to minimize potential hazards. This work will need to be done under the supervision of a certified arborist. I do not recommend a detail pruning, as this would encourage more borer activity. Pruning should be minimized to health, fire, and structural concerns that affect the proposed improvements.
8	Eucalyptus globulus	43"	Same as #7
9	Eucalyptus globulus	62"	Same as #7
10	Eucalyptus globulus	41"	Same as #7
11	Eucalyptus globulus	36"	Same as #7
12	Eucalyptus globulus	32"	Same as #7
38	Valley Oak	12" / 13"	This oak is also in good condition, located on the property line at the southeast corner of the property. This tree has grown up through an old wire fence which is now broken within the wood fence. The closest portion of the proposed parking lot is shown to be 20' from the base of the tree. I recommend a 6' high chain-link fence be used to set up a Tree Protection Zone around the tree 15' out from the trunk on the construction side and outside the drip line elsewhere. The area within the TPZ should be mulched 4'-6" deep with chippings from tree removals. I recommend having an arborist remove the deadwood only.
41	Eucalyptus globulus	72"	Same as #7
48	Eucalyptus globulus	40"	Same as #7



Recommendations by:  
John C. Traverso  
Certified Arborist  
BCMA #K206-B  
(510) 711-1883

SAVE any unlisted trees on sidewalk

yellow = trees to be saved  
- - - - = nylon fencing to protect trees.  
All other trees to be removed.

SUNOL BOULEVARD

5980 Sunol Blvd  
DEMO 200289

CONTRACTOR COPY

DRAFT





PUD-45-01M  
PSPA-04  
RECEIVED

September 20, 2011

SEP 20 2011

CITY OF PLEASANTON  
PLANNING DIVISION

Jenny Soo  
Associate Planner  
City of Pleasanton  
Planning and Community Development  
200 Old Bernal Avenue  
Pleasanton, CA 94566

EXHIBIT B

**Re: Application for Development Review: 5980 & 5998 Sunol Blvd.**

Dear Ms. Soo,

Thank you for your preliminary input on the proposed memory care facility at 5980 and 5998 Sunol Blvd. Based on Staff's feedback, I have proceeded with development plans for the parcels and would now like to formally submit an application for development review for a 46 bed memory care/assisted living facility at 5980 and 5998 Sunol Blvd.

This site is currently zoned PUD Office, and the Office District allows nursing homes as a permitted use. This use is consistent with the intent of the North Sycamore Specific Plan in several ways: 1) It's a single story building as opposed to a more massive looking two story building. 2) The proposed project's extremely low traffic impacts are compatible with the residential character of the North Sycamore neighborhood behind it. 3) The use is semi-residential in character and very quiet. 4) A solid wall will buffer the other North Sycamore properties on the east and south sides, acting as a visual and sound buffer. 5) The proposed architecture is complementary yet better than the already developed office building at the corner of Sycamore and Sunol Boulevard.

While we would prefer a PUD interpretation or PUD modification to clarify "nursing home and senior care/assisted living facilities" is permitted in the specific PUD O District, it appears we will need a PUD modification and specific plan amendment as well as a lot line adjustment. We ask for Staff support for this use.

The site was previously entitled for a two story office building in 2007, but those entitlements have expired. Given the poor state of the office market in Pleasanton (currently 24.5% vacancy and still deteriorating) the previously proposed office building project is financially unfeasible now and in the foreseeable future. It should be noted that I have done everything possible to develop an office building in the vision of the planning department and NSSP the past few years. We initially marketed the site as office condos, then to a full floor office users (for sale or lease), then as a build to suit, and finally as a land sale, all with no serious interest since 2007. The only interest we have had has been as a highly discounted land sale for uses other than office...uses such as retail and day care/pre-school facilities I feel are much less compatible to the area than the proposed memory care/assisted living facility.

**PETRA REALTY INVESTORS**

3775 Beacon Avenue, Suite 200 Fremont, CA 94538 tel 510.474.1001 fax 510.474.1002

www.petrainvestors.com

letter from Westmont Living, and Parking Comparisons/Commentary in the submittal package for more detail on parking.

Our market analysis has indicated there is an acute need for specialized Alzheimer care services in Pleasanton. Currently, there are only 21 beds in the City and even the 46 beds we are proposing will likely not meet current demand in the City. While Continuing Life Communities "Stoneridge Creek" project off I-580 at El Charro Rd. was recently entitled and will have an Alzheimer component, Stoneridge Creek will be a "buy in" community, as opposed to a rental facility as we are proposing. Currently there is a wait list for Alzheimer care patients in Pleasanton, resulting in families either placing their loved ones in traditional assisted living facilities (if possible depending on their required level of care, but still not ideal) or forcing them to place their loved ones in a dated Alzheimer facility in Livermore or facilities as far away as Oakland.

Positive financial impact of this development and operating business will be significant to the City of Pleasanton both on a direct and indirect level. Assisted living facilities typically staff at a level of one employee for every two residents, thus approximately 25 permanent jobs will be generated by this project in addition to the indirect "multiplier effect" of creating 1.8 additional jobs in the economy for every assisted living job created. Finally, there is the overall economic impact to consider: for every dollar in assisted living wages paid, there are 2.2 dollars generated across all industries. (Assisted Living Executive, *Deep Economic Impact*, Jan./Feb. 2008)

I hope you will find the new proposed use and design an improvement and better fit for the neighborhood. Aside from this development filling a needed void for memory care in the area, the building will be appear less massive (one story as opposed to two), will have a more residential look and character and the use will result in less traffic and impact on the area. I look forward to addressing any comments or suggestions you may have and earning your support for the project.

Sincerely,



Nick Kavayiotidis  
Principal  
Petra Realty Investors

---



DRAFT

## PROJECT SUMMARY

### Background

The site was previously approved in 2007 for a 22,000 square foot, two story office building which was never developed due to the economic downturn and a sharp decline in demand and rents for office space. The site is currently vacant land. Applicant wishes to construct a one story 21,481 square foot assisted living (specifically Alzheimer "memory care") facility with 23 units and 46 beds. 5980 Sunol Blvd. is located within the North Sycamore Specific Plan, 5998 Sunol Blvd. was brought into the NSSP as a result of the last entitlement. A lot line adjustment to combine the two parcels was applied for in 2008 but never completed.

### Site Description

The proposed development would encompass both parcels which total 1.67 AC (5980 Sunol Blvd. at 1.01 AC and 5998 Sunol Blvd. at .66 AC). The site is located near the intersection of Sunol Blvd. and Sycamore Road. To the West is the Life Technologies Campus, to the South and East are residences fronting Sycamore Rd. and to the North is the Memorial Gardens Cemetery. The site is relatively flat and currently devoid of any structures.

5998 Sunol Blvd. is bound by a drainage channel (B-2-1) on the far North side of property. However, the infrastructure improvements associated with the North Sycamore Specific Plan diverted Sycamore Creek away from this channel. There is no riparian habitat within the channel as current water flows are non-existent to very minimal and sporadic. The previously entitled office building site plan was approved by the Department of Fish & Game and the Regional Water Quality Control Board. The channel was determined not to be under the jurisdiction of the following agencies: USACE, USFWS and Zone 7 Water. The current proposed site plan adheres to the boundary limits previously set by the Department of Fish and Game and the Water Quality Control Board in 2008.

### Project Description

The proposed memory care facility would be a single story building totaling 21,481 sf. The design of the building allows for a variety of different bed configurations, including some private rooms and different shared room arrangements which will be more affordable. The building will front Sunol Boulevard. The main building entrance will be on the East side of the property. The project includes 25 spaces, two of which are van accessible disabled spaces. Landscaping on the site would include a variety of shrubs and trees, many of which are native to the area. All setbacks, height limits and FAR requirements are adhered to in the proposed plans.

### Building Design

The elevations were designed to complement the existing nearby office building at 6088 Sunol Blvd. and incorporate features that include variations in massing, setbacks and height, as well as a highly articulated façade with details that blend with the residential character of the area.

PWD-65-01M/  
P3PA-4

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RECEIVED

SEP 20 2011

CITY OF PLEASANTON  
PLANNING DIVISION









# TRAVERSO TREE SERVICE

WHEN IT HAS TO BE DONE RIGHT

Tree Inventory & Preservation Report  
Development of New Office Complex  
5980 / 5988 Sunol Blvd, Pleasanton

March 5, 2007



*Prepared for:*

Nick Kavayiotidis  
Petra Realty Investors, Inc.  
39201 State Street  
Fremont, CA 94538

*By*

John C Traverso  
Consulting Arborist  
WCISA / BCMA #0206

*PRD-65-01M*  
RECEIVED

SEP 20 2011  
CITY OF PLEASANTON  
PLANNING DIVISION

EXHIBIT B



3354 Freeman Road • Walnut Creek, California 94595  
Telephone (925) 930-7901 • Fax (925) 930-0205



No. 206



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Attachments

    Appraisal Worksheets Trees #1, 2, 3, & 38

    Site Map

---

## **INTRODUCTION**

The applicant proposes to combine two parcels and build an office complex and parking lot. Currently the site is a relatively flat rural unkept area with mix of native and non native trees consisting primarily of black walnuts, four small valley oaks, trees of heaven, black locust, acacia, and several large eucalyptus. This report is to address all the protected trees on the site and make recommendations with regards to the proposed improvements.

## **ASSIGNMENT**

Per the City of Pleasanton's Tree Protection Ordinance 17.16.050 - 070, regarding tree assessment & protection during construction, this report shall include the following information.

- I. Provide a survey of all trees on or overhanging the site with trunk diameters of 6" and larger at 4.5' above grade.
- II. Tag and assess all trees for their current condition, and retain-ability. Rate each tree for suitability for preservation as good, moderate, or poor, based on age, health, structure combined with potential impacts from proposed development.
- III. Note as whether the trees are of "Heritage" status (over 17" D.B.H, or 35' in height).
- IV. Provide recommendations for protection of those trees suitable for preservation.
- V. Provide an appraised value of those tree selected for preservation.

## **SUMMARY**

Based on tree condition, species sensitivity, and proposed encroachment, it is my opinion that 13 of 48 trees can be retained. These are to include the 8 mature eucalyptus, 1 black walnut, and 3 valley oaks located along the northeast property line, and 1 valley oak at the southeast corner of the property. Other than one 8" valley oak in good condition, no other native oaks are to be removed. Of the 35 trees being removed, all but one are in fair to poor condition.

## **ASSUMPTIONS & LIMITATIONS**

---

The following report is based on the topographic survey by Bunton Clifford Associates, and the Site Draft by JMH Weiss, Inc. dated 10-26-06. It was assumed that the tree locations, proposed building and hardscape locations were accurately surveyed. Based on my site visit on 3/1/07, I measured and adjusted the approximated driplines on the site plan enclosed.

All trees were visually assessed from the ground for health and structure. Due to the size and complexity of the eucalyptus trees proposed for preservation, and evidence of



eucalyptus borers, there is bound to many structural issues not visible, as well as potential future health problems. This cursory evaluation is in no way a guarantee against future branch or tree failure. All observations and evaluations were solely mine with no outside influence.

**TABLE #1: TREE INVENTORY & ASSESSMENT**

**Health & Structure Rating**

- 1 = Dead, dying, or severe hazardous structural defects that are uncorrectable.
- 2 = Poor condition, thin or declining canopy. Significant structural defects, that may or may not be corrected or supported.
- 3 = Fair condition, moderate vigor, minor structural defects that could be corrected through normal maintenance.
- 4 = Good condition, good vigor, with no obvious problems or defects.
- 5 = Exceptionally nice specimen physically, structurally, and aesthetically.

#	SPECIES	Trunk Diameter @ 4.5'	Health (1-5)	Structure (1-5)	Canopy Radius	Comments, Potential Impact Severity (Minor, Moderate Severe)	Heritage Status
1	Valley Oak	13"	4	4	15'	Trunk buried. Minor impact.	No
2	Valley Oak	10 1/2"	4	4	20' S	Stunted Growth and buried trunk. Minor impact.	No
3	Valley Oak	6"	4	3	15' E	Leaning 45 degrees to the East, buried trunk, sub-dominant tree. Minor impact.	No
4	Black Walnut	11 1/2", 16", 10"	3	3	20'	Tip decline, old dieback. Minor impact.	Yes
5	Black Locust	14"	3	2	15'	Stunted, included leaders. Minor impact	No
6	Deodar Cedar	10 1/2"	3	4	8'	Stunted growth, trunk buried. Severe impact, parking lot.	No

March 5, 2007

#	SPECIES	Trunk Diameter @ 4.5'	Health (1-5)	Structure (1-5)	Canopy Radius	Comments, Potential Impact Severity (Minor, Moderate Severe)	Heritage Status
7	Eucalyptus globulus	24"	4	3	35' NW	Leaning to the west, top broken out, primarily epicormic shoots. Minor impact.	Yes
8	Eucalyptus globulus	43"	4	3	35' N&W	5 Degree lean to the north, needs crown reduction and crown thinning. Minor impact.	Yes
9	Eucalyptus globulus	52"	4	3	40'S , 30'W	Co-dominant leaders. Recommend crown reduction and crown thinning, potential cabling. Minor impact	Yes
10	Eucalyptus globulus	43"	4	3	40' N, 30'S	Needs crown reduction and crown thinning. Minor impact.	Yes
11	Eucalyptus globulus	36"	4	3	15'S, 40'NE	Leans to the north east, co-dominant stems, needs crown reduction and crown thinning. Minor impact.	Yes
12	Eucalyptus globulus	32"	4	3	40' SW	Needs crown reduction and crown thinning. Minor impact.	Yes
13	Black Walnut	29"	1	1	20'	Tree is dead.	Yes
14	Black Locust	11", 12", 12", 12"	2	2	20'	Included co-dominant leaders, dieback in upper canopy, Borer activity in base of tree. Severe impact, parking lot.	Yes
15	Black Walnut	16"	2	2	20'W, 20'S	Declining condition. Severe impact, parking lot.	No
16	Black Locust	8"	3	2	10"	Stunted growth, included leaders. Severe impact, parking lot.	No
17	Black Locust	14", 12"	1	2	10'	Declining, half dead, bore activity. Severe impact, parking lot.	Yes



#	SPECIES	Trunk Diameter @ 4.5'	Health (1-5)	Structure (1-5)	Canopy Radius	Comments, Potential Impact Severity (Minor, Moderate Severe)	Heritage Status
18	Black Walnut	18", 17"	1	1	10'	Topped at 10 feet, almost dead. Severe impact, building.	Yes
19	Tree of Heaven	12"	4	3	12'	Over 35'. Severe impact, building.	Yes
20	Valley Oak	8"	4	4	12'N, 5'SWE	Severe impact, building.	No
21	Black Locust	9"	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes
22	Black Locust	7"	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes
23	Black Locust	8.5	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes
24	Black Locust	6"	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes
25	Black Locust	9½"	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes
26	Black Locust	6"	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes

#	SPECIES	Trunk Diameter @ 4.5'	Health (1-5)	Structure (1-5)	Canopy Radius	Potential Impact Severity (Minor, Moderate Severe)	Heritage Status
27	Black Locust	7"	4	3	#21-#27 group radius of 20'	Over 35'. Severe impact, parking lot, and building.	Yes
28	Black Locust	11"	4	3	15' SW	Over 35'. Severe impact, parking lot, and building.	Yes
29	Tree of Heaven	11", 8", 6"	4	3	15'	Co-dominant stems. Severe impact, building.	Yes
30	Tree of Heaven	16", 16"	4	3	20' S&W, 15' E	Co-dominant stems. Severe impact, building.	Yes
31	Elderberry	13", 16"	3	2	15'	Broken leader, epicormic shoots. Severe impact, building.	Yes
32	Black Walnut	27"	4	3	30' NW, 20'S	Decay on the back side of the main stem, 4' vertical wound on back side. Severe impact, parking lot.	Yes
33	Black Walnut	35"	3	3	30'	Some decline in the upper canopy, co-dominant stems. Severe impact, parking lot.	Yes
34	Black Wood Acacia	17"	1	1	N/A	Leaders broke out, ½ trunk dead. Severe impact, parking lot.	No
35	Black Wood Acacia	9"	1	1	20' S	Leaning 45 degrees, leader broke out. Severe impact, parking lot.	No
36	Black Walnut	16"	1	1	15'SE	Almost dead. Severe impact, parking lot.	Yes
37	Black Walnut	10", 6", 9"	3	3	25' N, 30'NE, 15'W	Extensive grading within dripline. Severe impact, parking lot.	Yes

#	SPECIES	Trunk Diameter @ 4.5'	Health (1-5)	Structure (1-5)	Canopy Radius	Comments, Potential Impact Severity (Minor, Moderate Severe)	Heritage Status
38	Valley Oak	12", 13"	4	4	10'W, 30S&E, 25N	Growing through the wire fence. Moderate impact. Grading at dripline.	Yes
39	Plum	12", 6"	2	2	10'	Old declining fruit tree. Severe impact, parking lot, and building.	No
40	Plum	11"	2	2	8'	Old declining fruit tree. Severe impact, parking lot, and building.	No
41	Magnolia Grandiflora	10½"	3	4	15'	Severe impact, parking lot, and building.	No
42	Tree of Heaven	9"	4	3	12'	Severe impact, parking lot, and building.	No
43	Tree of Heaven	7½"	3	4	10' SW	Severe impact, parking lot, and building.	No
44	Plum	10", 12"	1	1	12'	Old declining fruit tree. Severe impact, parking lot, and building.	Yes
45	Plum	6", 7", 8"	1	1	8'	Old tree, self destructing. Severe impact, parking lot, and building.	No
46	Black Walnut	31"	3	2	20'	Topped, all epicormic shoots. Severe impact, parking lot, and building.	Yes
47	Eucalyptus globulus	72"	3	3	40'	Broken branches in tree and branches that have fallen below are heavily infested with Eucalyptus Long Horn Borer. Main stem and healthy branches do not seem to be affected. Recommend crown reduction of elongated scaffolds, and crown thinning. Minor impact.	Yes



#	SPECIES	Trunk Diameter @ 4.5'	Health (1-5)	Structure (1-5)	Canopy Radius	Comments, Potential Impact Severity (Minor, Moderate Severe)	Heritage Status
48	Eucalyptus globulus	40	3	3	40' S	Tree leans to the south. Minor impact.	Yes

**TABLE #2: TREES TO BE PROTECTED**

**Concerns & Recommendations**

#	SPECIES	Trunk Diameter @ 4.5'	Tree Protection Concerns and Recommendations
1	Valley Oak	13"	Health is good, however, the trunk is buried above the natural grade. I recommend having an arborist remove the raised soil level down to native grade at least 5' back from the trunk. Clean crown of deadwood, and mulch out to 5' outside the dripline with 4" of tree chippings generated from tree removals. Keep mulch 12" back from trunk. Establish a Tree Protection Zone, "TPZ", by installing a 6' high chain-link fence around trees #1, 2, & 3 five feet outside their driplines to prevent equipment encroachment.
2	Valley Oak	10 1/2"	Health is good, however, the trunk is buried above the natural grade. I recommend having an arborist remove the raised soil level down to native grade at least 5' back from the trunk. Clean crown of deadwood, and mulch out to 5' outside the dripline with 4" of tree chippings generated from tree removals. Keep mulch 12" back from trunk.
3	Valley Oak	6"	Health is good, however, the trunk is buried above the natural grade. I recommend having an arborist remove the raised soil level down to native grade at least 5' back from the trunk. Clean crown of deadwood, and mulch out to 5' outside the dripline with 4" of tree chippings generated from tree removals. Keep mulch 12" back from trunk.
4	Black Walnut	1 1/2", 16", 10"	Although this tree is fair condition, and some dieback has occurred in the outer canopy, it is well clear of any improvements and is not a hazard to the proposed improvements. I recommend the dieback be removed by an arborist, and mulching out to the dripline where outside the flow of the creek.

#	SPECIES	Trunk Diameter @ 4.5'	Tree Protection Concerns and Recommendations
7	Eucalyptus globulus	24"	Trees # 7-12 are separated by a creek that is to be maintained in its natural state. Construction impacts will be on the opposite side of the creek, and should not effect tree health. These trees have a significant amount of fallen branch debris under them, and in their lower crotches. Many of the dead and fallen branches have evidence of Eucalyptus Long Horn Borer, an engraver beetle that can be very destructive. I recommend cleaning the crowns of broken branches and large deadwood (over 3" in diameter) and fallen debris under trees to lesson Borer activity and potential fire hazard. A few of the trees have canopies extending out over the proposed parking lot. I recommend crown reduction of elongated branches over P/L to minimize potential hazards. This work will need to be done under the supervision of a certified arborist. I do not recommend a detail pruning, as this would encourage more borer activity. Pruning should be minimized to health, fire, and structural concerns that affect the proposed improvements.
8	Eucalyptus globulus	43"	Same as #7
9	Eucalyptus globulus	52"	Same as #7
10	Eucalyptus globulus	43"	Same as #7
11	Eucalyptus globulus	36"	Same as #7
12	Eucalyptus globulus	32"	Same as #7
38	Valley Oak	12", 13"	This oak is also in good condition, located on the property line at the southeast corner of the property. The tree has grown up through an old wire fence which is now ingrown within the wood tissue. The closest portion of the proposed parking lot is shown to be 20' from the base of the tree. I recommend a 6' high chain-link fence be used to set up a Tree Protection Zone around the tree 15' out from the trunk on the construction side, and outside the dripline elsewhere. The area within the TPZ should be mulched 4"-6" deep with chippings from tree removals. I recommend having an arborist remove the deadwood only.
47	Eucalyptus globulus	72"	Same as #7
48	Eucalyptus globulus	40	Same as #7

## LANDSCAPING

The only landscape concerns I have on this site is around the 4 oaks to be protected. The three oaks located by the creek at the northwest corner of the property and the one oak at the southeast corner. The oaks to the northwest are in an area that is specified by the Fish and Game representative to be re-vegetated with natives along the creek bank. The native plantings in this area are appropriate, I just recommend that the area within the driplines and no closer than 10' from their trunks be strictly mulch with no plants or irrigation. Irrigating our native oaks close to their trunks in summer months can lead to problems with decay fungi. Likewise on the oak to the southeast, keep an area of at least 10' from the trunk dry with no grade changes, trenching, or planting. Soil beneath the tree is to remain un-compacted by landscape activities, which may require fencing off during landscaping activities as well. I recommend consulting with an arborist prior to starting landscaping activities to insure the root zone remains protected.

## DISCUSSION

As indicated in my summary, most of the trees being removed are in fair to poor condition, including several old dying plums, declining black locust, acacias that have broken in half and several dead and structurally compromised trees, including one large 31" black walnut that has been severely topped and is predominantly a tall stump with *water shoots*<sup>1</sup>. In addition several Ailanthus, "*Tree of Heaven*", will need to be removed. These are an introduced species that are often thought of as an invasive weed, as they spread rapidly and compete with the surrounding native environments.

There are two large black walnuts #32 & #33 that are in fair condition at the south end of the property where there will be a parking lot. Do to their moderate health, and that fact that black walnuts are extremely sensitive to construction activities near or under their driplines, it would necessitate such a large TPZ that 10 or more parking slots would be lost, and the trees may still not survive.

---

<sup>1</sup>Water Shoots- Fast growing weakly attached vertical shoots that are stressed induced. Typically a sign of over pruning, or declining health.




Arborist Report, 5980 / 5988 Sunol Blvd.

March 5, 2007

**CONCLUSION**

Although the proposed improvements will necessitate the removal of 70% of the trees, many of those trees are dead or declining, or are a less than desirable invasive species. It is my opinion that the 13 trees selected for preservation can be adequately protected from construction activities as long as the recommendations within this report are followed.

Thank you for the opportunity to provide you with this report, and I hope you find it helpful in the process of your development and protection of your trees. Please don't hesitate to call if you have any questions or concerns.

Sincerely,  
  
John C Traverso  
Certified Arborist #0206  
Board Certified M/A #0206-B

John C Traverso, Consulting Arborist

**APPENDIX A**

**TREE APPRAISAL**

**Introduction**

The following appraisals are for trees #1, #2, #3, & #38, the four valley oaks on the property that could potentially be impacted by the proposed construction. These appraisals are to satisfy the City of Pleasanton's Tree Preservation Ordinance Chapter 17.16.070 item #6, whereas all trees potentially affected by development shall have their value appraised prior to issuance of a grading or building permit. Based on geography, and the natural creek bed that is to be preserved, the remaining trees to be saved will be separated from construction impacts, and therefor were not included with the following appraisals.

**Appraisal Format**

The following appraisal was arrived at using the *Trunk Formula Method* as outlined in the 9<sup>th</sup> Edition of the *Guide for Plant Appraisal* written by the Council OF Tree & Landscape Appraisers, and the *Species Classification and Group Assignment Guide* written by the Western Chapter of the International Society of Arboriculture. This method is used for larger trees that can not be readily replaced by equal sized specimens.

Four primary factors help determine the value of landscape trees: *Species, Condition, Size, and Location*. These factors are essential considerations that are required when arriving at values using the TFM Method.

**Species:** This is a rating given to the tree based on its relationship with its environment. Trees species that have a high reliability and perform well in the given conditions are considered to have a higher percentage rating. In this case the four valley oaks are considered to be in there native environment where they are given a high rating of 90%.

**Condition:** Based on both health, and structural ratings from 1-4 (1 being extreme problems, and 4 being no apparent problems) for the roots, trunk, and scaffold branches, and a health only rating of 1-4 for the twigs and buds. The total is then divided by 32 giving the condition rating. See *chart below*

#	Species	Roots Health	Roots Structure	Trunk Health	Trunk Structure	Scaffold Branches Health	Scaffold Branches Structure	Twigs Health	Buds Health	Total / 32 = Condition %
1	Valley oak	3	3	4	4	4	3	3	3	84%
2	Valley oak	3	3	4	4	4	3	3	3	84%
3	Valley oak	3	3	4	2	3	3	3	3	75%
38	Valley oak	4	4	4	3	4	3	4	3	84%

**Size:** The size of a tree is determined by trunk area "TA" measured at 4.5' above grade.

**Location:** The location rating is based on the average of three factors, Site Condition, Contribution, and Placement.

Site Condition compares the current condition of the site with the condition of adjacent sites in the neighborhood. This site received a lower rating of 65% do to an un-maintained rural environment.

Contribution of the trees to the site was considered nominal and given a 50% rating.

Placement, for similar reasons as for contribution, an located at the far corners of the property and were rated at 60%, while the trees in front were rated at 80%.

Average condition rating:  $65 + 50 + 60 = 56\%$

**APPRAISED VALUES**

Tree #	Species	DBH	Basic Value	Species rating	condition rating	location rating	Appraised value
1	Valley Oak	13"	\$10,393.40	90%	84%	56%	\$4,560.00

John C Traverso, Consulting Arborist



Tree #	Species	DBH	Basic Value	Species rating	condition rating	location rating	Appraised value
2	Valley Oak	10.5"	\$6,840.41	90%	84%	56%	\$3,000.00
3	Valley Oak	6"	\$2,350.00	90%	75%	56%	\$920.00
38	Valley Oak	12", 13"	\$19,767.24	90%	84%	56%	\$8,700.00

**TOTAL APPRAISED VALUES FOR THE FOUR (4) OAKS ..... \$17,180.00**

**APPENDIX B**

**Site Photos: Eucalyptus Pruning**



Eucalyptus pruning: Crown reduce elongated branches that will hang out over parking lot. To be coordinated with consulting arborist.

Clean crowns of large (>3") dead and broken branches, and fallen debris under trees for health and fire protection.



*Arborist Report, 5980 / 5988 Sunol Blvd.*

*March 5, 2007*

**Site Photos: Oaks #1, 2, & 3, and walnut #4 to be protected.**



*John C Traverso, Consulting Arborist*

TRAVERSO TREE SERVICE  
3354 FREEMAN RD.  
WALNUT CREEK, CA 94595

**APPRAISAL WORKSHEET**  
**"TRUNK FORMULA"**

**TRUNK APPRAISAL WORKSHEET**

**Supplied by:** Traverso Tree Service, 3354 Freeman Rd. WC  
**Date of Appraisal:** 3/5/2007

**Site Location:** 5980 / 5988 Sunol Blvd., Pleasanton, CA  
**Appraiser:** John C. Traverso WCISA / BCMA #0206-B

**Field Observations:** Tree #1

**1. Species:** Quercus lobata, "Valley Oak"  
**2. Condition:**

**3. Trunk Diameter:**

84%  
13" @ 4.5'  
65%  
50%  
60%  
58%

**4. Location % =** Site conditions Based on completed project  
+ Contribution of tree to site  
+ Placement of tree on site  
Divided by 3 =

**Regional Plant Appraisal Information**

**5. Species Rating** 90%  
**6. Replacement Tree Trunk Area** 2.24  
**7. Replacement Tree Cost** \$172.73  
**8. Installation Cost** \$172.73  
**9. Installed Tree Cost** \$345.46  
**10. Unit Tree Cost** \$77.04  
*(Based on Regional Information)*

**Calculations by Appraiser Using Field and**

**Regional Information**

**11. Appraised Trunk Area:**  
formula d<sup>2</sup> / (line # 3) X 0.785  
**12. Appraised Tree Trunk Increase is line #11 - Line #6**  
**13. Basic Tree Cost is Line #12 X Line #10 + Line #9**  
**14. Appraised Value is Line # 13 X Line #5 X Line #2 X Line #4**  
**15. If the appraised value is greater than \$5,000 or more, round**  
**to the nearest \$100. If less than \$5,000 round to the nearest ten**

132.665  
130.43  
\$10,393.40  
\$4,557.30  
4,560.00

**16. Appraised Value**

\$4,560.00

**Appraiser's signature:**



John C Traverso  
Consulting Arborist  
WCISA / BCMA #0206



TRAVERSO TREE SERVICE  
3354 FREEMAN RD.  
WALNUT CREEK, CA 94595

# APPRAISAL WORKSHEET "TRUNK FORMULA"

**TRUNK APPRAISAL WORKSHEET**  
**Supplied by:** Traverso Tree Service, 3354 Freeman Rd. WC  
**Date of Appraisal:** 3/5/2007

**Site Location:** 5980 / 5988 Sunol Blvd., Pleasanton, CA  
**Appraiser:** John C Traverso WCISA / BCMA #0206-B

**Field Observations: Tree #2**  
**1. Species:** Quercus lobata, "Valley Oak"  
**2. Condition:**

84%  
10.5" @ 4.5'  
65%  
50%  
60%  

---

58%

**3. Trunk Diameter**  
**4. Location % =** Site conditions Based on completed project  
+ Contribution of tree to site  
+ Placement of tree on site  
Divided by 3 =

**Regional Plant Appraisal Information**

**5. Species Rating** 90%  
**6. Replacement Tree Trunk Area** 2.24  
**7. Replacement Tree Cost** \$172.73  
**8. Installation Cost** \$172.73  
**9. Installed Tree Cost** \$345.46  
**10. Unit Tree Cost** \$77.04  
*(Based on Regional Information)*

**Calculations by Appraiser Using Field and**

**Regional Information**

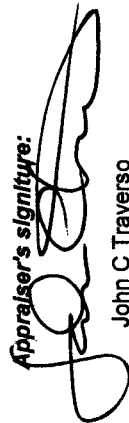
**11. Appraised Trunk Area:**  
formula d<sup>2</sup>/(line # 3) X 0.785  
**12. Appraised Tree Trunk Increase is line #11 - Line #6**  
**13. Basic Tree Cost is Line #12 X Line #10 + Line #9**  
**14. Appraised Value is Line # 13 X Line #5 X Line #2 X Line #4**  
**15. If the appraised value is greater than \$5,000 or more, round to the nearest \$100. If less than \$5,000 round to the nearest ten**

86,546.25  
84.31  
\$6,840.41  
\$2,999.38  
3,000.00

**16. Appraised Value**

\$3,000.00

**Appraiser's signature:**



John C Traverso  
Consulting Arborist  
WCISA / BCMA #0206

TRAVERSO TREE SERVICE  
3354 FREEMAN RD.  
WALNUT CREEK, CA 94595

**APPRAISAL WORKSHEET**  
**"TRUNK FORMULA"**

**TRUNK APPRAISAL WORKSHEET**

**Supplied by:** Traverso Tree Service, 3354 Freeman Rd. WC  
**Date of Appraisal:** 3/5/2007

**Site Location:** 5980 / 5988 Sunol Blvd., Pleasanton, CA  
**Appraiser:** John C. Traverso WCISA / BCMA #0206-B

**Field Observations:** Tree #3

**1. Species:** Quercus lobata, "Valley Oak"

**2. Condition:**

**3. Trunk Diameter**

**4. Location % = Site conditions Based on completed project**

+ Contribution of tree to site

+ Placement of tree on site

**Divided by 3 =**

75%  
6 " @ 4.5'  
65%  
50%  
60%  
58%

**Regional Plant Appraisal Information**

**5. Species Rating**

**6. Replacement Tree Trunk Area**

**7. Replacement Tree Cost**

**8. Installation Cost**

**9. Installed Tree Cost**

**10. Unit Tree Cost**

**(Based on Regional Information)**

90%  
2.24  
\$172.73  
\$172.73  
\$345.46  
\$77.04

**Calculations by Appraiser Using Field and**

**Regional Information**

**11. Appraised Trunk Area:**

**formula of (line # 3) X 0.785**

**12. Appraised Tree Trunk Increase is line #11 - Line #6**

**13. Basic Tree Cost is Line #12 X Line #10 + Line #9**

**14. Appraised Value is Line # 13 X Line #5 X Line #2 X Line #4**

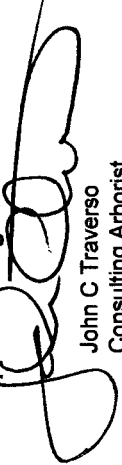
**15. If the appraised value is greater than \$5,000 or more, round to the nearest \$100. If less than \$5,000 round to the nearest ten**

28.26  
26.02  
\$2,350.04  
\$920.04  
920.00

**16. Appraised Value**

\$920.00

**Appraiser's signature:**



John C. Traverso  
Consulting Arborist  
WCISA / BCMA #0206

TRAVERSO TREE SERVICE  
3354 FREEMAN RD.  
WALNUT CREEK, CA 94595

**APPRAISAL WORKSHEET**  
**"TRUNK FORMULA"**

**TRUNK APPRAISAL WORKSHEET**

Supplied by: Traverso Tree Service, 3354 Freeman Rd. WC  
Date of Appraisal: 3/5/2007

Site Location: 5980 / 5988 Sunol Blvd., Pleasanton, CA  
Appraiser: John C. Traverso WCISA / BCMA #0206-B

Field Observations: Tree #38

1. Species: Quercus lobata, "Valley Oak"

2. Condition:

3. Trunk Diameter:

4. Location % = Site conditions Based on completed project

+ Contribution of tree to site

+ Placement of tree on site

Divided by 3 =

84%  
18 Equivalent to areas of 12" / & 13" @ 4.5' combined.  
65%  
50%  
60%  
58%

Regional Plant Appraisal Information

5. Species Rating

6. Replacement Tree Trunk Area

7. Replacement Tree Cost

8. Installation Cost

9. Installed Tree Cost

10. Unit Tree Cost

(Based on Regional Information)

90%  
2.24  
\$172.73  
\$172.73  
\$345.46  
\$77.04

Calculations by Appraiser Using Field and

Regional Information

11. Appraised Trunk Area:

formula  $d^2 \times \pi / 4$  (line # 3) X 0.785

12. Appraised Tree Trunk Increase is line #11 - Line #6

13. Basic Tree Cost is Line #12 X Line #10 + Line #9

14. Appraised Value is Line # 13 X Line #5 X Line #2 X Line #4

15. If the appraised value is greater than \$5,000 or more, round to the nearest \$100. If less than \$5,000 round to the nearest ten

=  
= 254.34  
= 252.10  
= \$19,767.24  
= \$8,667.54  
= 8,700.00

16. Appraised Value

\$8,700.00

Appraiser's signature:



John C. Traverso  
Consulting Arborist  
WCISA / BCMA #0206